

LEGEND

Table with 3 columns: Symbol, Description, and another Symbol. Includes items like BUILDING LINE, STORM WATER MANAGEMENT BOUNDARY, etc.

BULK REQUIREMENTS

Table with 3 columns: MINIMUM BUILDING REQUIREMENTS, REQUIRED, and PROPOSED. Includes rows for LOT AREA, LOT WIDTH, FRONT YARD, etc.

PARKING CALCULATIONS

CAR PARKING SPACE REQUIREMENTS: REQUIRED: WAREHOUSE: 1 SPACE PER 2,000 SQ. FT. OF FLOOR AREA... OFFICE: 1 SPACE PER 200 SQ. FT. OF FLOOR AREA...

GENERAL NOTES

- 1. TAX MAP IDENTIFICATION NUMBER: SECTION 211, BLOCK 1, LOT 29-22
2. TOTAL AREA OF SUBJECT PARCEL: ± 33.87 ACRES.
3. BOUNDARY AND PLANIMETRIC INFORMATION BASED UPON A SURVEY DATED OCTOBER 10, 2018 AS PREPARED BY ENGINEERING & SURVEYING PROPERTIES, P.C.

LIST OF DRAWINGS

Table with 3 columns: DRAWING#, TITLE, SHEET#. Lists drawings like O-100 OVERALL PLAN, C-101 SITE PLAN, etc.

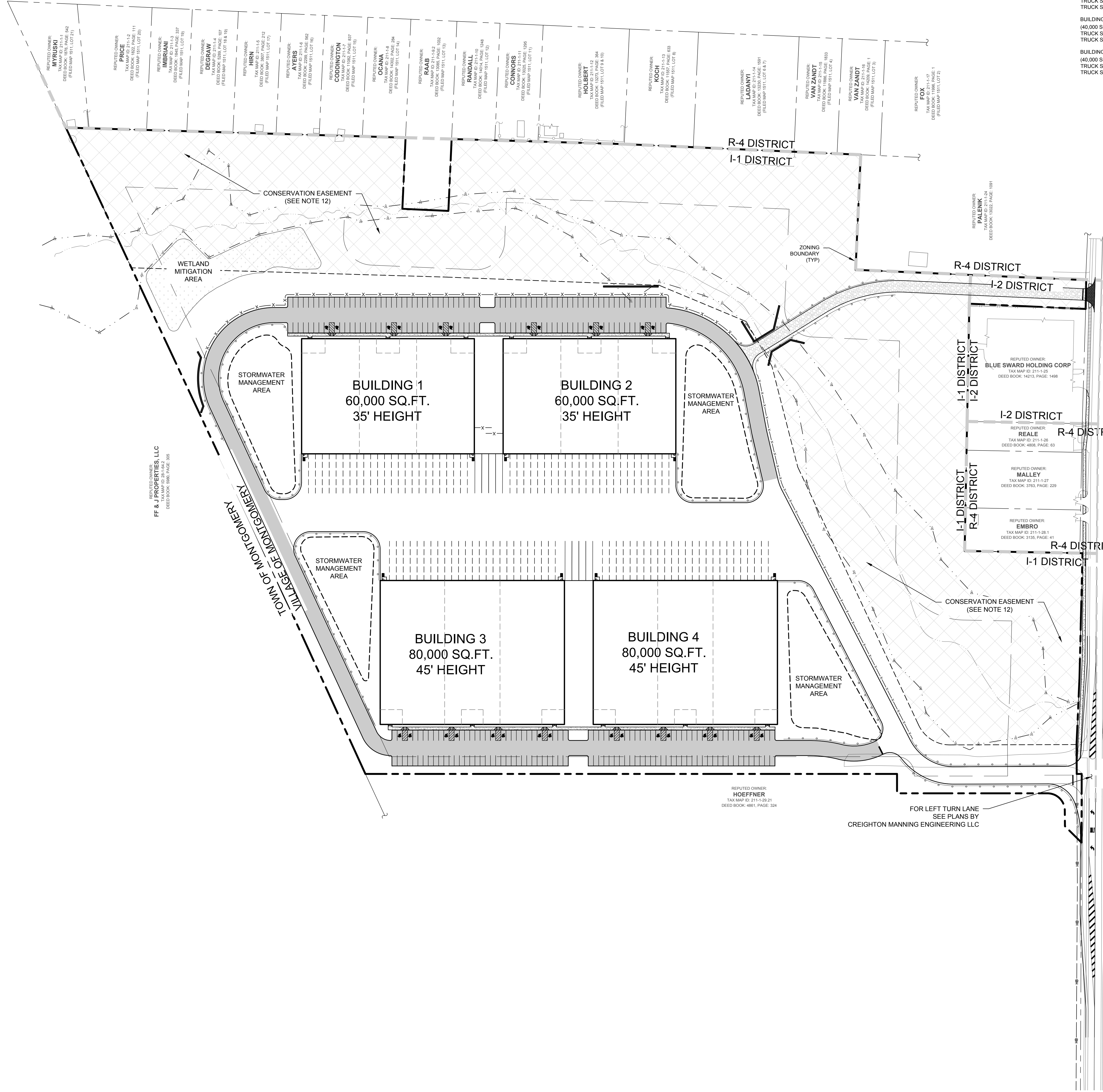
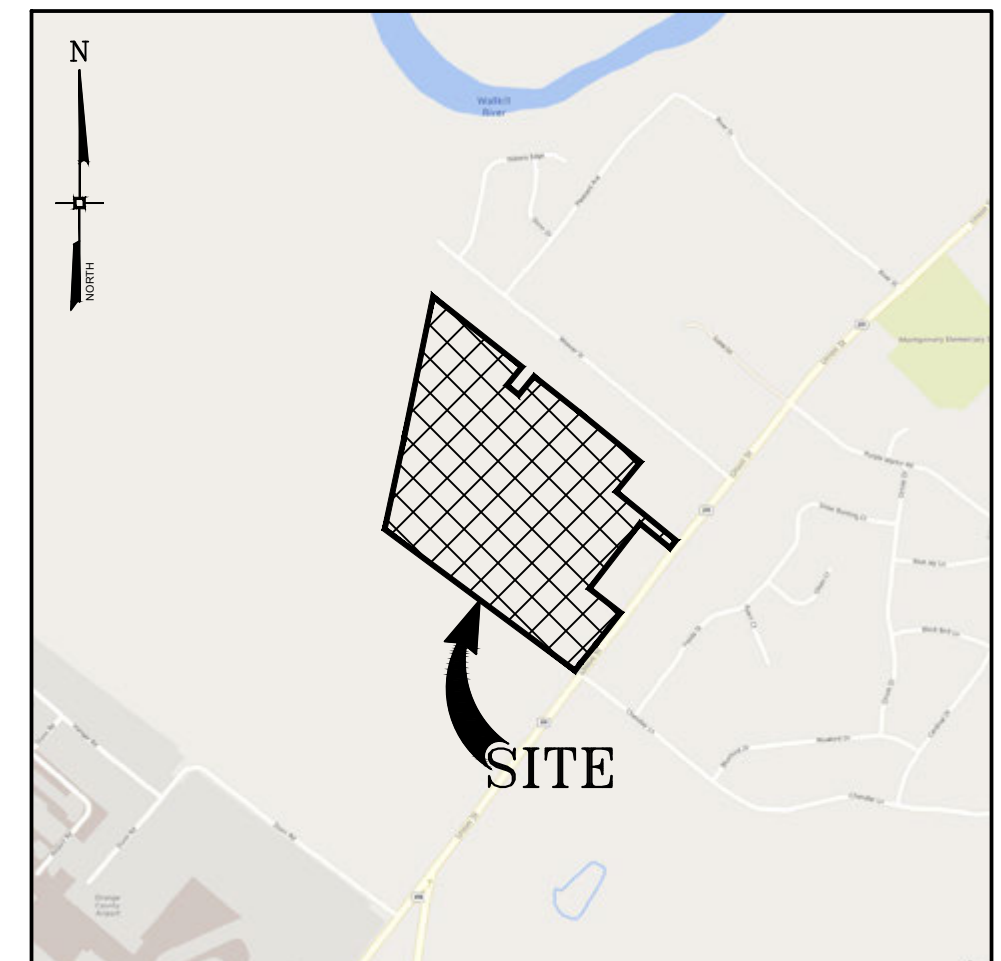


Table with 3 columns: NO., DATE, DESCRIPTION. Lists revision history from 01/14/22 to 06/16/23.

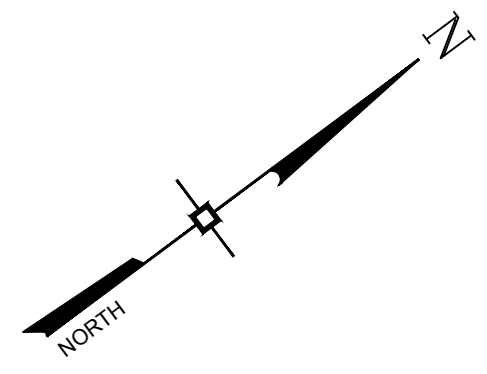
DRAWING STATUS table with columns for SHEET NUMBER and approval status (CONCEPT APPROVAL, PLANNING BOARD APPROVAL, etc.).

Professional Engineer signature block for ROSS WINGLOVITZ, P.E., with a scale bar and north arrow.

Engineering & Surveying Properties, Inc. logo and contact information, including address and phone number.

LEGEND

	BUILDING LINE		STORM WATER MANAGEMENT LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE		
	CURB LINE		EXISTING BUILDING LINE		
	GRAVEL DRIVEWAY LINE		EXISTING CURB LINE		
	EASEMENT LINE		EXISTING EDGE OF PAVEMENT LINE		
	BUILDING SETBACK LINES		LIMIT OF ACOE WETLAND		
	GUIDESAIL LINES		EXISTING CHAINLINK FENCE LINES		
	RETAINING WALL LINES		EXISTING STOCKADE FENCE LINES		
	PARKING STALL STRIPE		EXISTING WOODRAIL FENCE LINES		
	PARKING PAVEMENT SECTION		EXISTING MOW LINE		
	EDGE OF SIDEWALK LINES		EXISTING OVERHEAD UTILITY LINES		
	LIMIT OF WETLAND MITIGATION LINE				
	PROPERTY LINE				
	STRIPING LINE				



REPUTED OWNER:
FF & J PROPERTIES, LLC
TAX MAP ID: 28-1-64.2
DEED BOOK: 5980, PAGE: 305

REPUTED OWNER:
MYRUSKI
TAX MAP ID: 211-1-1
DEED BOOK: 1876, PAGE: 542
(FILED MAP 1511, LOT 21)

REPUTED OWNER:
PRICE
TAX MAP ID: 211-1-2
DEED BOOK: 1822, PAGE: 111
(FILED MAP 1511, LOT 20)

REPUTED OWNER:
IMBRIANI
TAX MAP ID: 211-1-3
DEED BOOK: 1845, PAGE: 337
(FILED MAP 1511, LOT 19)

REPUTED OWNER:
DEGRAW
TAX MAP ID: 211-1-4
DEED BOOK: 5289, PAGE: 107
(FILED MAP 1511, LOT 18 & 19)

REPUTED OWNER:
HIRN
TAX MAP ID: 211-1-5
DEED BOOK: 3807, PAGE: 212
(FILED MAP 1511, LOT 17)

REPUTED OWNER:
AYERS
TAX MAP ID: 211-1-6
DEED BOOK: 2299, PAGE: 562
(FILED MAP 1511, LOT 16)

REPUTED OWNER:
CODDINGTON
TAX MAP ID: 211-1-7
DEED BOOK: 11082, PAGE: 837
(FILED MAP 1511, LOT 15)

REPUTED OWNER:
OCANA
TAX MAP ID: 211-1-8
DEED BOOK: 14302, PAGE: 284
(FILED MAP 1511, LOT 14)

REPUTED OWNER:
RAAB
TAX MAP ID: 211-1-9.2
DEED BOOK: 13085, PAGE: 1032
(FILED MAP 1511, LOT 13)

REPUTED OWNER:
RANDALL
TAX MAP ID: 211-1-10
DEED BOOK: 14014, PAGE: 1248
(FILED MAP 1511, LOT 12)

REPUTED OWNER:
CONNORS
TAX MAP ID: 211-1-11
DEED BOOK: 13025, PAGE: 1295
(FILED MAP 1511, LOT 11)

REPUTED OWNER:
HOLBERT
TAX MAP ID: 211-1-12
DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

NOTES:

- A GENERIC DETAIL IS PROVIDED ON SHEET C-104 FOR THE PLYWALL SOUND BARRIER FENCE. THE DESIGN SHALL BE PREPARED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE BUILDING INSPECTOR FOR A BUILDING PERMIT PRIOR TO CONSTRUCTION. SUCH DESIGN DRAWINGS OR SHOP DRAWINGS SHALL BEAR THE STAMP AND SIGNATURE OF SUCH ENGINEER AND SHALL BE SPECIFIC TO THE SITE. THE DESIGN SHALL BE SPECIFIC TO THE SOUND BARRIER SYSTEM TO BE UTILIZED AND SHALL CONSIDER ALL APPROPRIATE AND NECESSARY POSSIBLE LOADING AND SITE CONDITIONS RELATED TO THIS SPECIFIC PROJECT.



- Call Before You Dig
 - Wait The Required Time
 - Confirm Utility Response
 - Respect The Marks
 - Dig With Care
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No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/02/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/02/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	2	OF 16
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE IDENTIFIED PLAN SET(S).

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

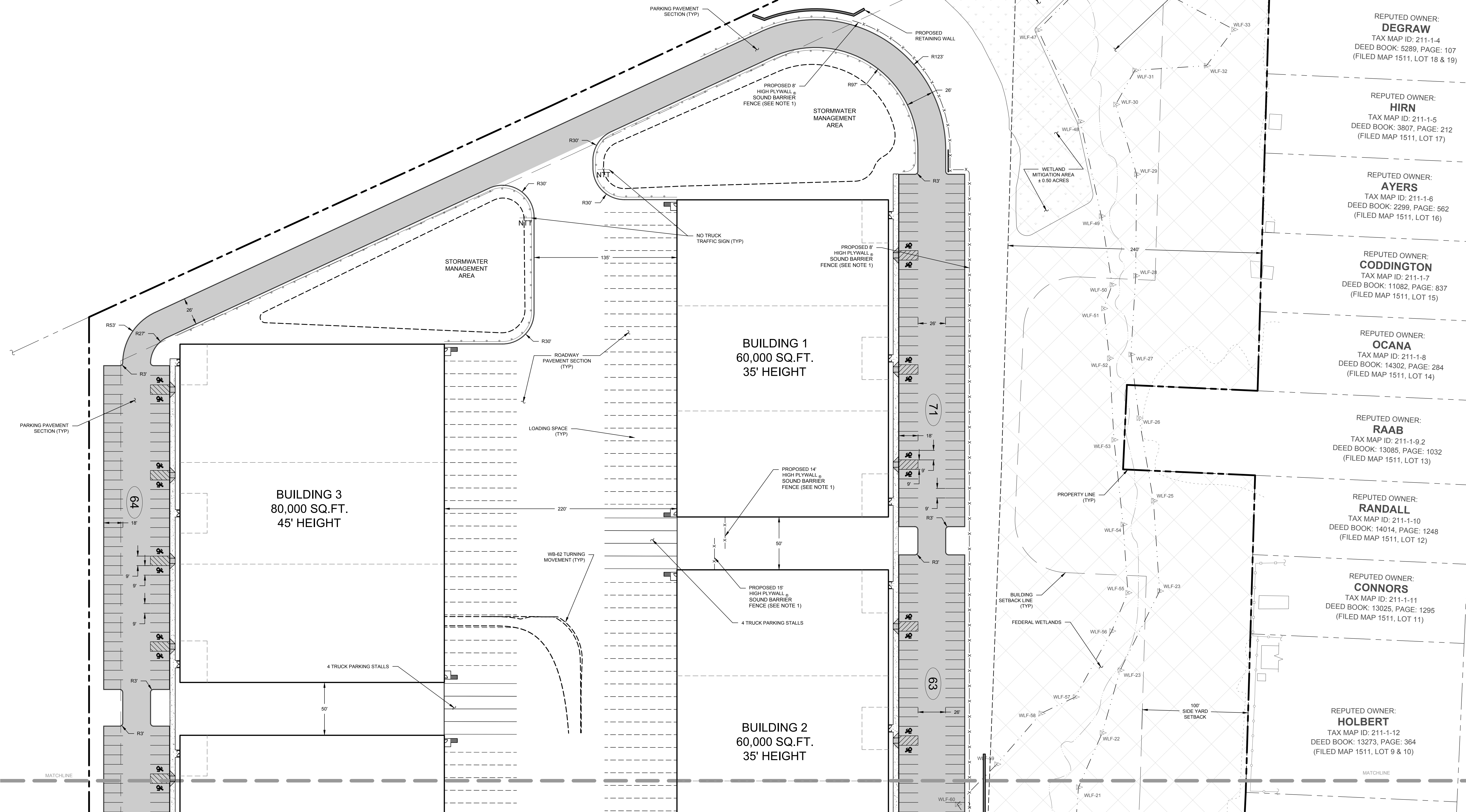
ENGINEERING & SURVEYING PROPERTIES
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SITE PLAN
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29.22

C-101



60,000 SQ.F.T.
35' HEIGHT

BUILDING 4
80,000 SQ.FT.
45' HEIGHT

DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

REPUTED OWNER:
KOCH
TAX MAP ID: 211-1-13
DEED BOOK: 11557, PAGE: 633
(FILED MAP 1511, LOT 8)

REPUTED OWNER:
LADANYI
TAX MAP ID: 211-1-14
DEED BOOK: 13230, PAGE: 1591
(FILED MAP 1511, LOT 6 & 7)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-15
DEED BOOK: 11886, PAGE: 1833
(FILED MAP 1511, LOT 4)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-16
DEED BOOK: 14209, PAGE: 1
(FILED MAP 1511, LOT 3)

REPUTED OWNER:
FOX
TAX MAP ID: 211-1-17
DEED BOOK: 11996, PAGE: 1
(FILED MAP 1511, LOT 2)

REPUTED OWNER:
PALENIK
TAX MAP ID: 211-1-24
DEED BOOK: 13022, PAGE: 1091

REPUTED OWNER:
EMBRIO
TAX MAP ID: 211-1-28-1
DEED BOOK: 3135, PAGE: 41

REPUTED OWNER:
MALLEY
TAX MAP ID: 211-1-27
DEED BOOK: 3763, PAGE: 228

REPUTED OWNER:
REALE
TAX MAP ID: 211-1-26
DEED BOOK: 4808, PAGE: 63

REPUTED OWNER:
BLUE SWARD HOLDING CORP
TAX MAP ID: 211-1-25
DEED BOOK: 14213, PAGE: 1488

NOTES:

1. A GENERIC DETAIL IS PROVIDED ON SHEET C-304 FOR THE PLYWALL SOUND BARRIER FENCE. THE DESIGN SHALL BE PREPARED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE BUILDING INSPECTOR FOR A BUILDING PERMIT PRIOR TO CONSTRUCTION. SUCH DESIGN DRAWINGS OR SHOP DRAWINGS SHALL BEAR THE STAMP AND SIGNATURE OF SUCH ENGINEER AND SHALL BE SPECIFIC TO THE SITE. THE DESIGN SHALL BE SPECIFIC TO THE SOUND BARRIER SYSTEM TO BE UTILIZED AND SHALL CONSIDER ALL APPROPRIATE AND NECESSARY POSSIBLE LOADING AND SITE CONDITIONS RELATED TO THIS SPECIFIC PROJECT.



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3	06/10/22	REVISED PER PB COMMENTS
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8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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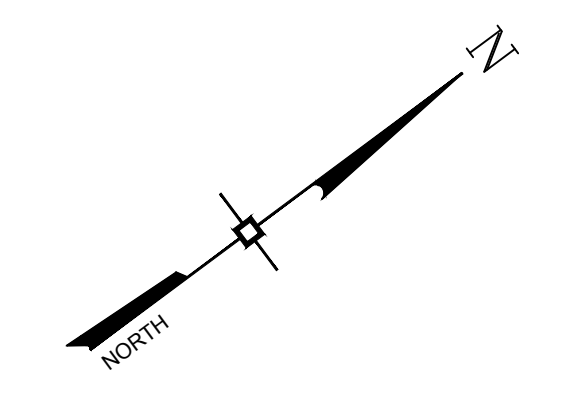
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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

LEGEND

	BUILDING LINE		STORM WATER MANAGEMENT LINE
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE
	CURB LINE		EXISTING BUILDING LINE
	GRAVEL DRIVEWAY LINE		EXISTING CURB LINE
	EASEMENT LINE		EXISTING EDGE OF PAVEMENT LINE
	BUILDING SETBACK LINES		LIMIT OF ACOE WETLAND
	GUIDERAIL LINES		EXISTING CHAINLINK FENCE LINES
	RETAINING WALL LINES		EXISTING STOCKADE FENCE LINES
	PARKING STALL STRIPE		EXISTING WOODRAIL FENCE LINES
	PARKING PAVEMENT SECTION		EXISTING MOW LINE
	EDGE OF SIDEWALK LINES		EXISTING OVERHEAD UTILITY LINES
	LIMIT OF WETLAND MITIGATION LINE		
	PROPERTY LINE		
	STRIPING LINE		

WLF-25 WETLAND FLAG LOCATION AND DESIGNATION
UTILITY POLE



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SITE PLAN

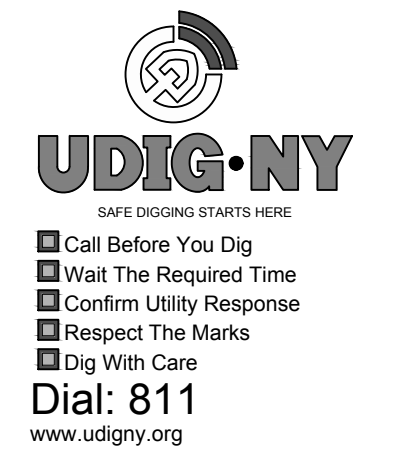
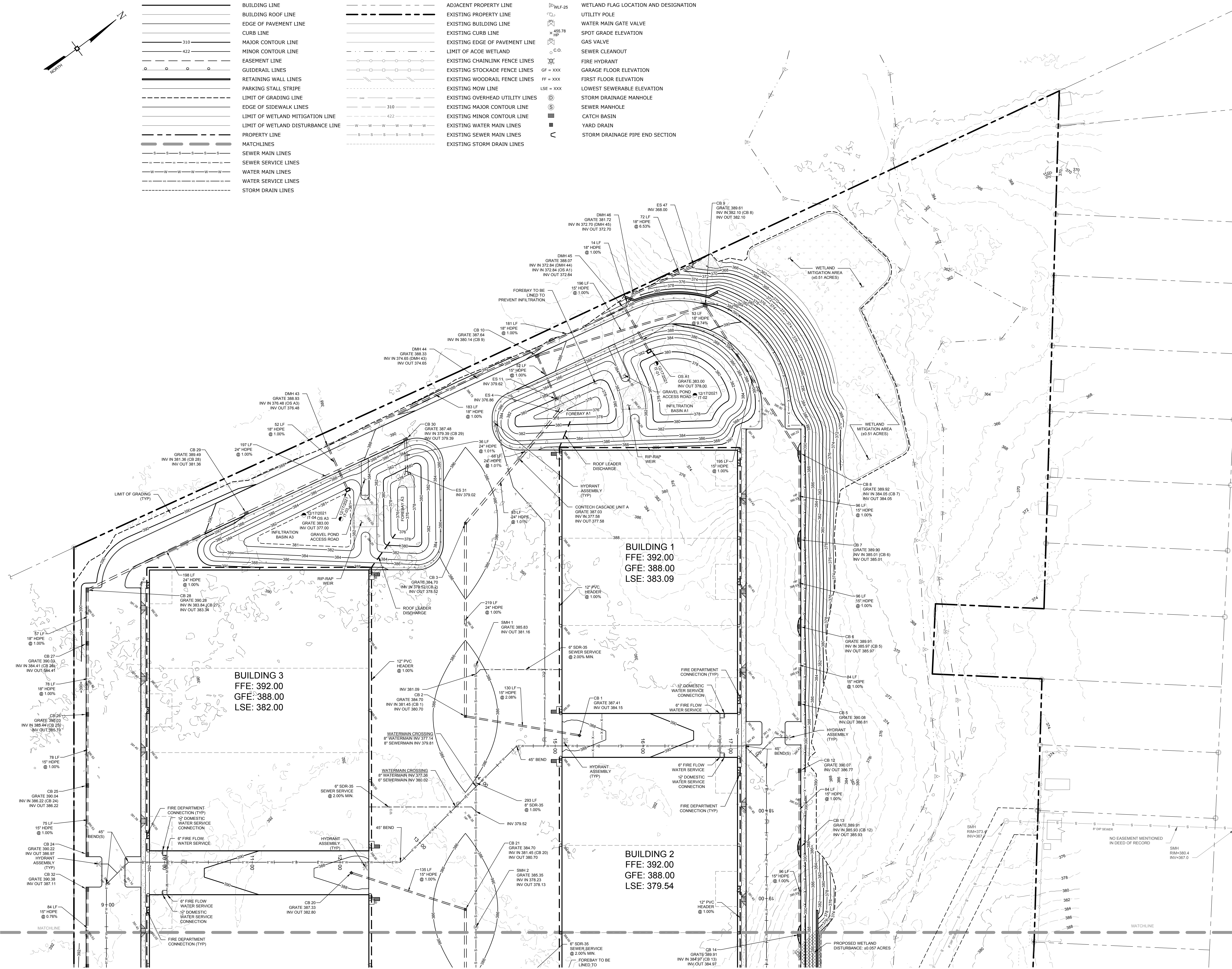
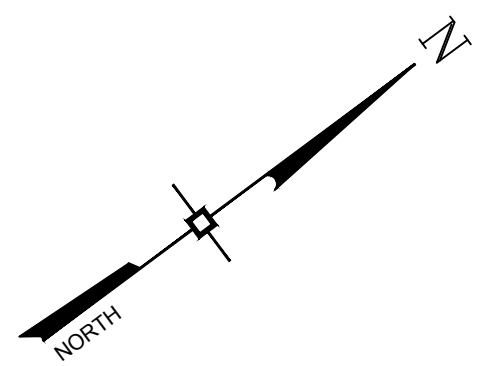
KSH ROUTE 211 DEVELOPMENT
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ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29-22

C-102

LEGEND

	BUILDING LINE		ADJACENT PROPERTY LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		EXISTING PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING BUILDING LINE		WATER MAIN GATE VALVE
	CURB LINE		EXISTING CURB LINE		SPOT GRADE ELEVATION
	MAJOR CONTOUR LINE		EXISTING EDGE OF PAVEMENT LINE		GAS VALVE
	MINOR CONTOUR LINE		LIMIT OF ACOE WETLAND		SEWER CLEANOUT
	EASEMENT LINE		EXISTING CHAINLINK FENCE LINES		FIRE HYDRANT
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES		GARAGE FLOOR ELEVATION
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES		FIRST FLOOR ELEVATION
	PARKING STALL STRIPE		EXISTING MOW LINE		LOWEST SEWERABLE ELEVATION
	LIMIT OF GRADING LINE		EXISTING OVERHEAD UTILITY LINES		STORM DRAINAGE MANHOLE
	EDGE OF SIDEWALK LINES		EXISTING MAJOR CONTOUR LINE		SEWER MANHOLE
	LIMIT OF WETLAND MITIGATION LINE		EXISTING MINOR CONTOUR LINE		CATCH BASIN
	LIMIT OF WETLAND DISTURBANCE LINE		EXISTING WATER MAIN LINES		YARD DRAIN
	PROPERTY LINE		EXISTING SEWER MAIN LINES		STORM DRAINAGE PIPE END SECTION
	MATCHLINES		EXISTING STORM DRAIN LINES		
	SEWER MAIN LINES				
	SEWER SERVICE LINES				
	WATER MAIN LINES				
	WATER SERVICE LINES				
	STORM DRAIN LINES				



NOTES:
1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS AS SHOWN ON THE PLANS.

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
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9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	4 OF 16
<input type="checkbox"/>	OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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NEW YORK LICENSE # 071701

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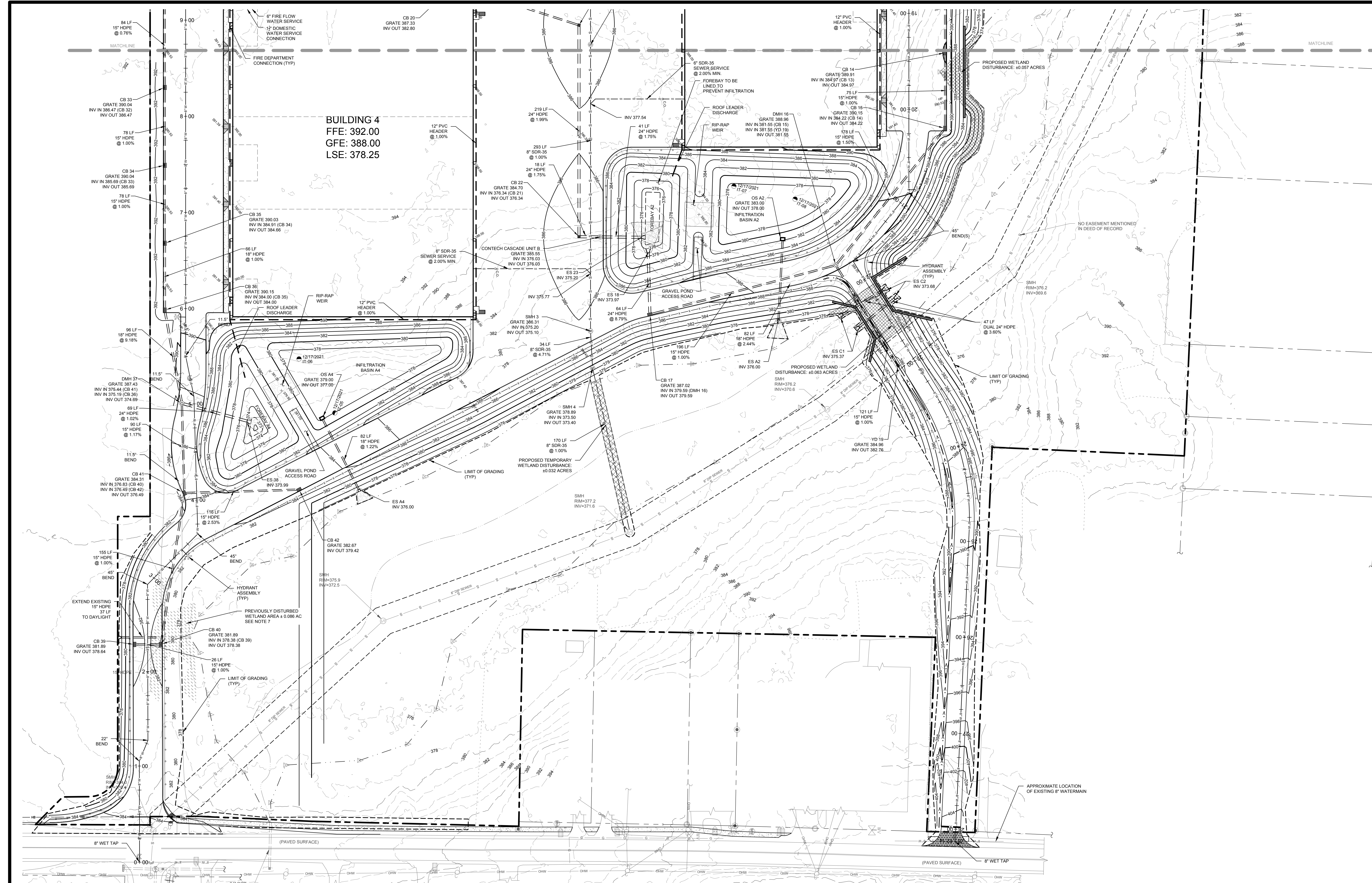
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GRADING, DRAINAGE & UTILITY PLAN

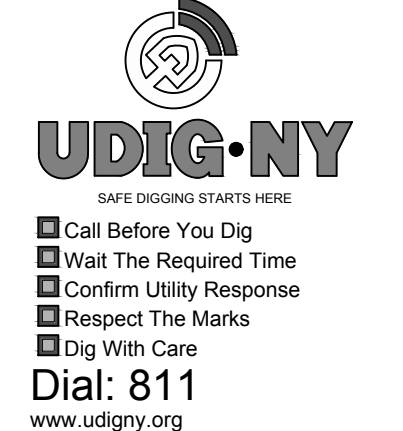
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29-22

C-103



BUILDING 4
 FFE: 392.00
 GFE: 388.00
 LSE: 378.25



NOTES:
 1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS AS SHOWN ON THE PLANS.

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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	5 OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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 NEW YORK LICENSE # 071701

LEGEND

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	EDGE OF SIDEWALK LINES		EXISTING MAJOR CONTOUR LINE		SEWER MANHOLE
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	LIMIT OF WETLAND DISTURBANCE LINE		EXISTING WATER MAIN LINES		YARD DRAIN
	PROPERTY LINE		EXISTING SEWER MAIN LINES		STORM DRAINAGE PIPE END SECTION
	MATCHLINES		EXISTING STORM DRAIN LINES		
	SEWER MAIN LINES		WATER SERVICE LINES		
	SEWER SERVICE LINES		STORM DRAIN LINES		
	WATER MAIN LINES				

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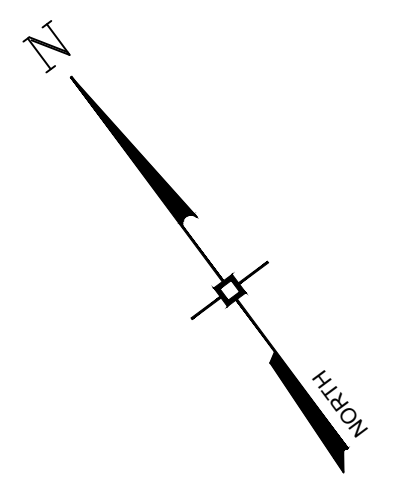
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GRADING, DRAINAGE & UTILITY PLAN

KSH ROUTE 211 DEVELOPMENT
 UNION STREET
 VILLAGE OF MONTGOMERY
 ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
 DATE: 12/10/2021 SCALE: 1" = 40'
 REVISION: 9 - 06/16/2023 TAX LOT: 211-1-29-22

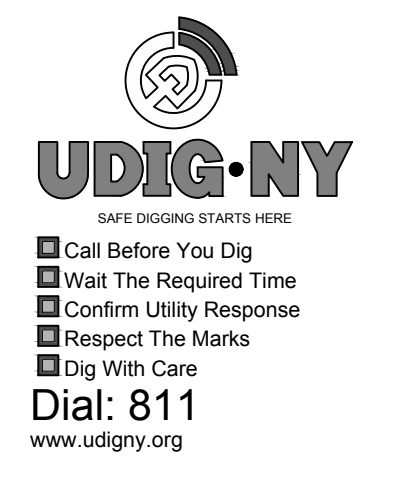
C-104



- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4

DISTURBANCE AREA PER PHASE

PHASE 1	= 317,850 SQFT	= ± 7.30 AC
PHASE 2	= 199,720 SQFT	= ± 5.84 AC
PHASE 3	= 213,867 SQFT	= ± 4.91 AC
PHASE 4	= 201,727 SQFT	= ± 4.50 AC



No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	6	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
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<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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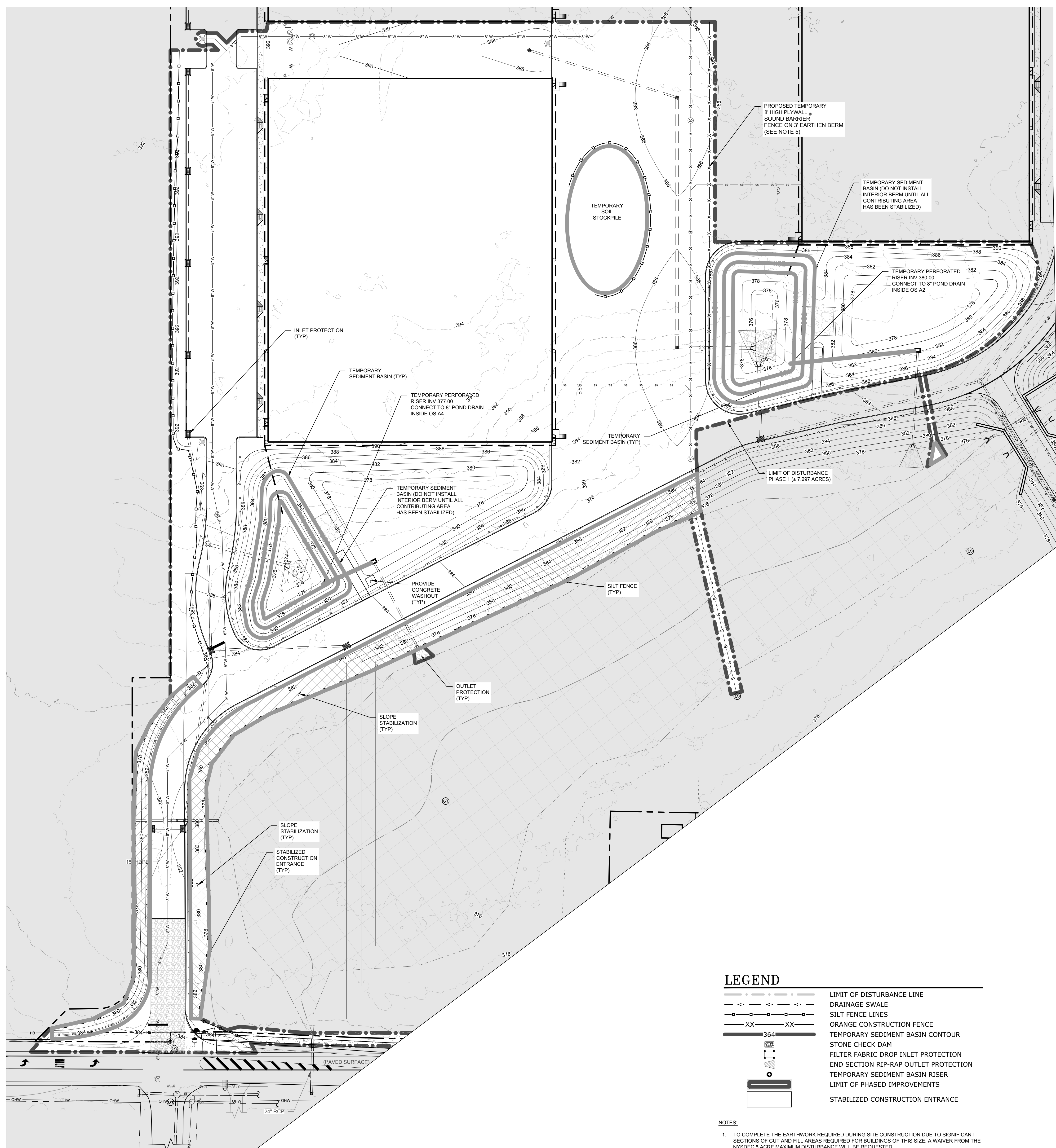
PHASING PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 60'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29.22

C-105

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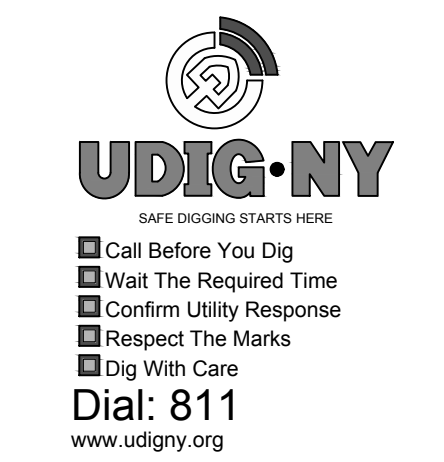
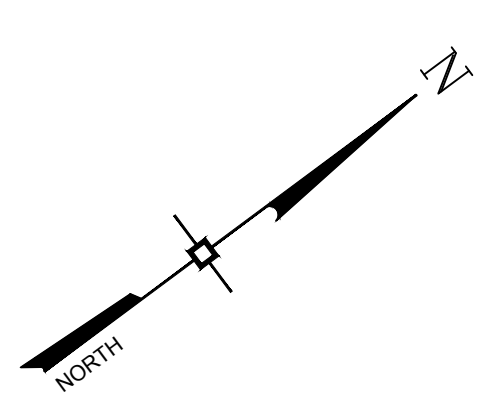
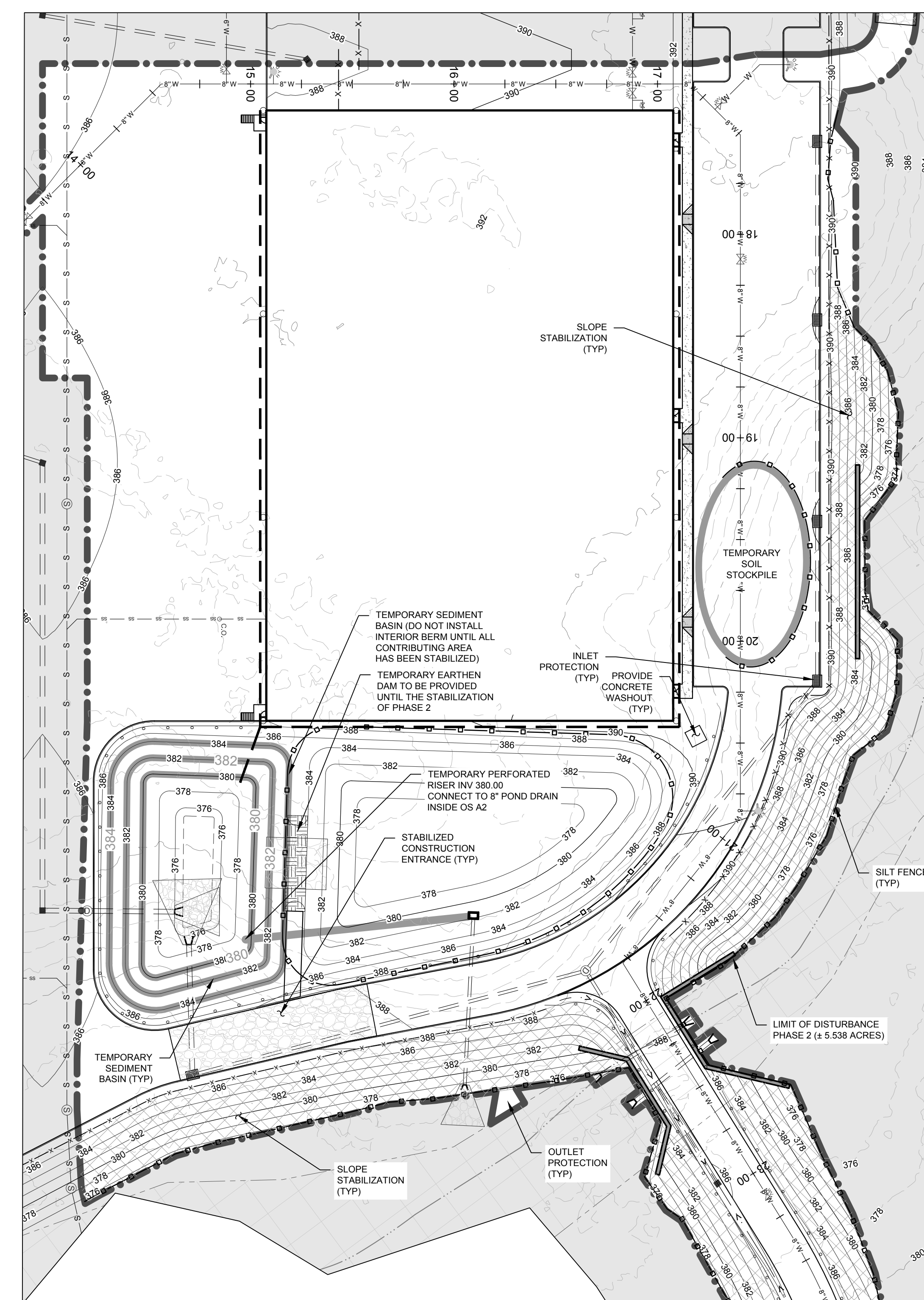
SCALE: 1" = 40'

PHASE 1 EROSION & SEDIMENT CONTROL PLAN

LEGEND

(---) --- (---)	LIMIT OF DISTURBANCE LINE
(---) --- (---)	DRAINAGE SWALE
(---) --- (---)	SILT FENCE LINES
(---) --- (---)	ORANGE CONSTRUCTION FENCE
(---) --- (---)	TEMPORARY SEDIMENT BASIN CONTOUR
(---) --- (---)	STONE CHECK DAM
(---) --- (---)	FILTER FABRIC DROP INLET PROTECTION
(---) --- (---)	END SECTION RIP-RAP OUTLET PROTECTION
(---) --- (---)	TEMPORARY SEDIMENT BASIN RISER
(---) --- (---)	LIMIT OF PHASED IMPROVEMENTS
(---) --- (---)	STABILIZED CONSTRUCTION ENTRANCE

- NOTES:**
- TO COMPLETE THE EARTHWORK REQUIRED DURING SITE CONSTRUCTION DUE TO SIGNIFICANT SECTIONS OF CUT AND FILL AREAS REQUIRED FOR BUILDINGS OF THIS SIZE, A WAIVER FROM THE NYSDEC 5 ACRE MAXIMUM DISTURBANCE WILL BE REQUESTED.
 - ANY SITE WORK PERFORMED DURING THE "WINTER MONTHS" WHICH CONSIST OF NOVEMBER 15 THRU APRIL 1, SHALL COMPLY WITH ALL ADDITIONAL MEASURES NOTED ON THIS PLAN REFERRING TO WINTER MONTHS. ALL EROSION & SEDIMENT CONTROL NOTES LOCATED ON THE DETAIL SHEETS WITHIN THIS PLAN SET AND THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, SPECIFICALLY PAGE 2.38.
 - THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT AT LEAST TWO (2) SITE INSPECTIONS IN ACCORDANCE WITH PART IV.C. OF THIS PERMIT EVERY SEVEN (7) CALENDAR DAYS, FOR AS LONG AS GREATER THAN FIVE (5) ACRES OF SOIL REMAIN DISTURBED. THE TWO (2) INSPECTIONS SHALL BE SEPARATED BY A MINIMUM OF TWO (2) FULL CALENDAR DAYS.
 - IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN CONFORMANCE WITH THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
 - PROPOSED TEMPORARY 8' HIGH PLYWALL & SOUND BARRIER FENCE TO REMAIN UNTIL THE PHASE 2 BUILDING IS ERECTED.



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8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

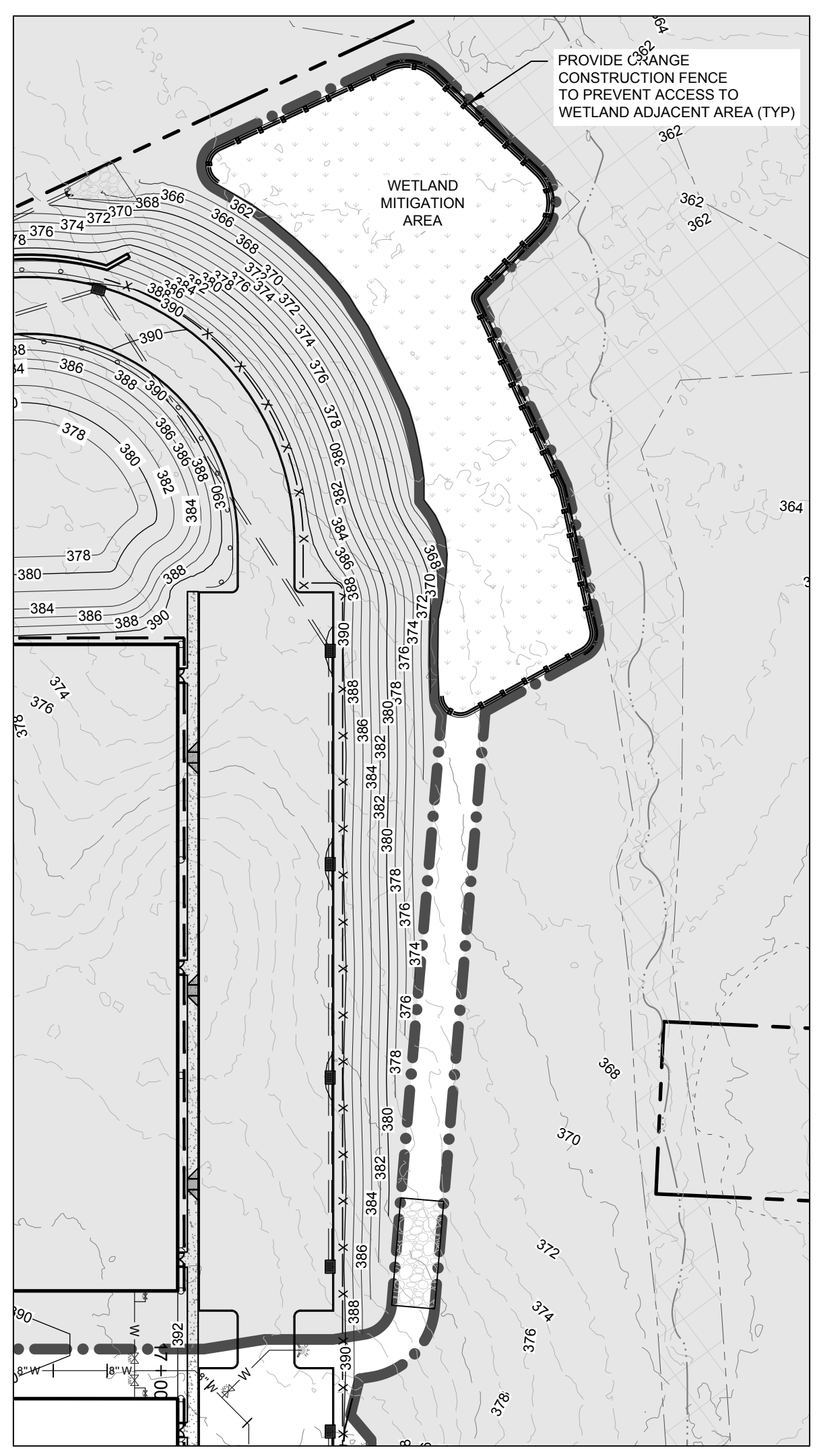
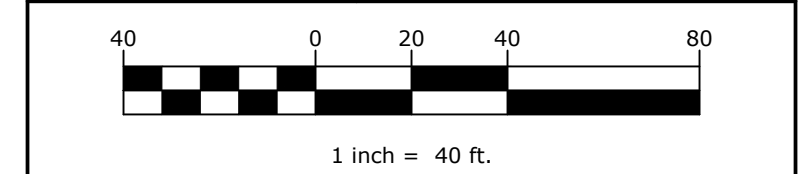
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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	7 OF 16
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.
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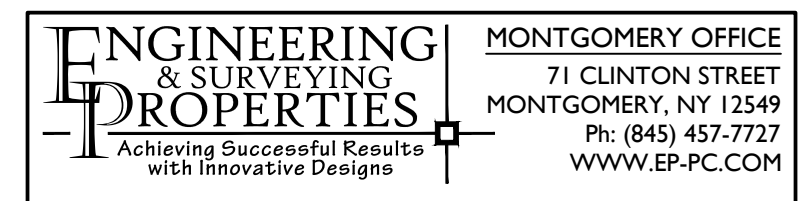
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SCALE: 1" = 60'

SCALE: 1" = 40'

PHASE 2 EROSION & SEDIMENT CONTROL PLAN

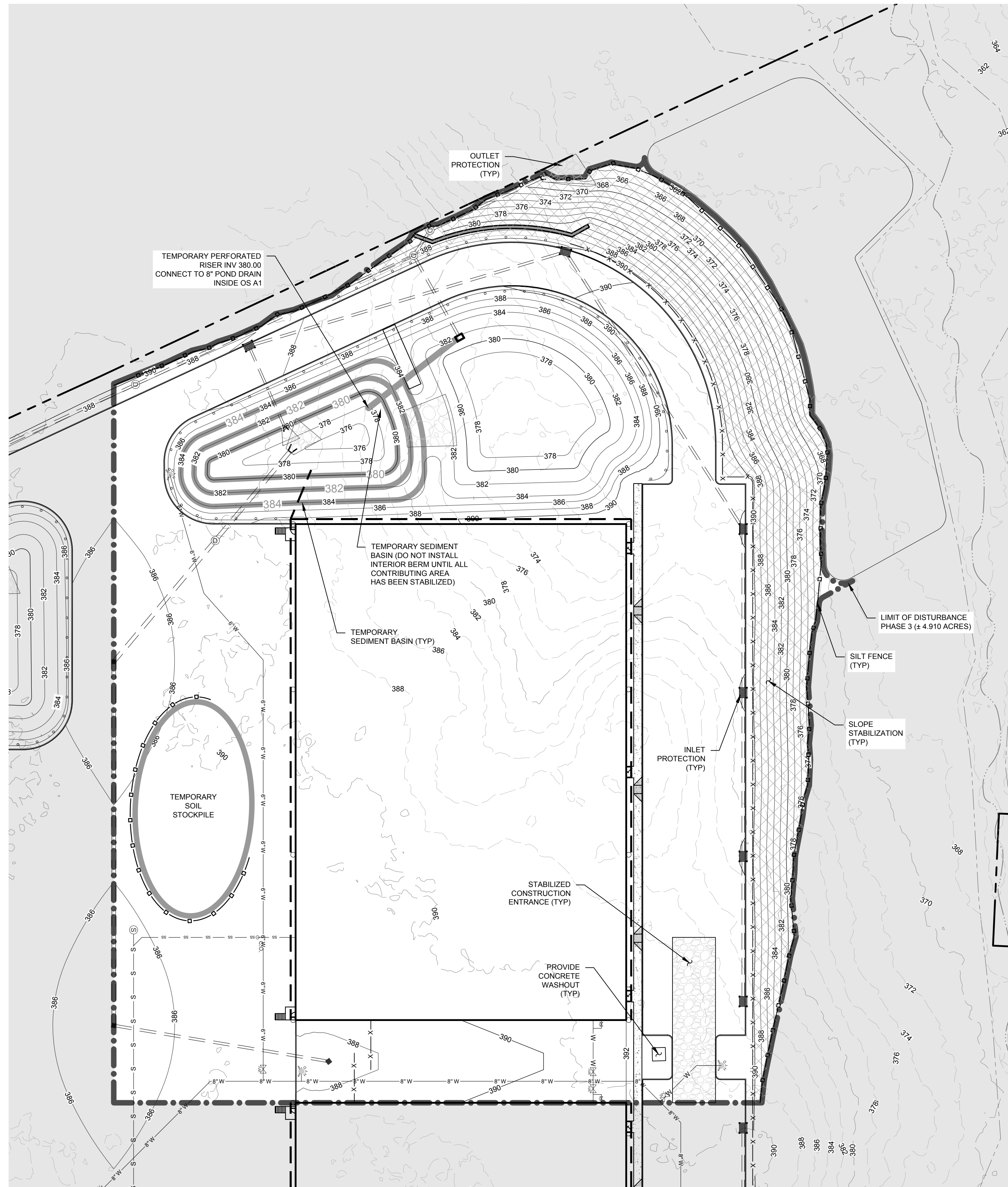


EROSION & SEDIMENT CONTROL PLAN
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29-22

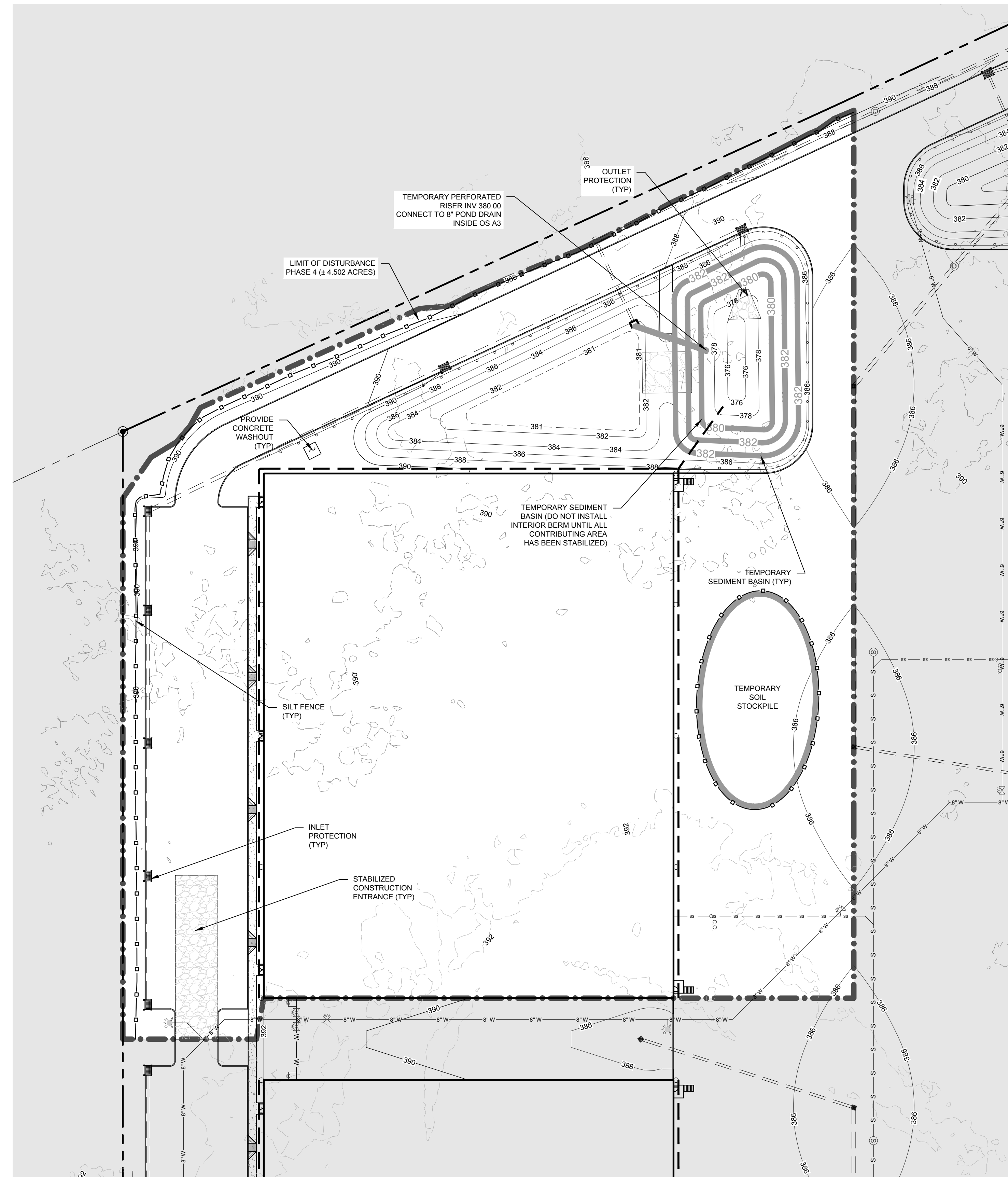
C-106

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Date Printed: Jun 14, 2023, 4:53pm



PHASE 3 EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 40'



PHASE 4 EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 40'

LEGEND

	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
	END SECTION RIP-RAP OUTLET PROTECTION
	TEMPORARY SEDIMENT BASIN RISER
	LIMIT OF PHASED IMPROVEMENTS
	STABILIZED CONSTRUCTION ENTRANCE

NOTES

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9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	06/16/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	8 OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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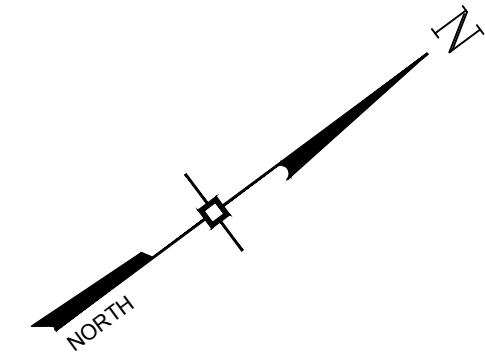
EROSION & SEDIMENT CONTROL PLAN
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
DATE: 12/10/2021 SCALE: 1" = 40'
REVISION: 9 - 06/16/2023 TAX LOT: 211-1-29-22

C-107

LEGEND

- EDGE OF CURBED ROADWAY
- SIDEWALK
- BUILDING
- RETAINING WALL
- MATCH LINE
- EXISTING PROPERTY LINE



Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LSI Industries	SLM-LED-18L-SIL-5W-30-70CRI 25 POLE 2'-6" BASE	LED	2	0.950	18128	135	540
	B	6	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI 25 POLE 2'-6" BASE	LED	1	0.950	18526	135	810
	C	6	LSI Industries	SLM-LED-18L-SIL-2-30-70CRI 25 POLE 2'-6" BASE	LED	1	0.950	18421	135	810
	D	16	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI 30' WALL MOUNTING HEIGHT	LED	1	0.950	18526	135	2160
	E	18	LSI Industries	SLM-LED-12L-SIL-3-30-70CRI 20' WALL MOUNTING HEIGHT	LED	1	0.950	11803	85	1020
	F	7	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI-IL 25 POLE 2'-6" BASE	LED	1	0.950	10708	135	945
	G	9	LSI Industries	SLM-LED-18L-SIL-2-30-70CRI-IL 25 POLE 2'-6" BASE	LED	1	0.950	18128	135	1215

REPUTED OWNER:
FF & J PROPERTIES, LLC
TAX MAP ID: 28-1-64.2
DEED BOOK: 5980, PAGE: 305

REPUTED OWNER:
MYRUSKI
TAX MAP ID: 211-1-1
DEED BOOK: 1876, PAGE: 542
(FILED MAP 1511, LOT 21)

REPUTED OWNER:
PRICE
TAX MAP ID: 211-1-2
DEED BOOK: 1822, PAGE: 111
(FILED MAP 1511, LOT 20)

REPUTED OWNER:
IMBRIANI
TAX MAP ID: 211-1-3
DEED BOOK: 1845, PAGE: 337
(FILED MAP 1511, LOT 19)

REPUTED OWNER:
DEGRAW
TAX MAP ID: 211-1-4
DEED BOOK: 5289, PAGE: 107
(FILED MAP 1511, LOT 18 & 19)

REPUTED OWNER:
HIRN
TAX MAP ID: 211-1-5
DEED BOOK: 3807, PAGE: 212
(FILED MAP 1511, LOT 17)

REPUTED OWNER:
AYERS
TAX MAP ID: 211-1-6
DEED BOOK: 2299, PAGE: 562
(FILED MAP 1511, LOT 16)

REPUTED OWNER:
CODDINGTON
TAX MAP ID: 211-1-7
DEED BOOK: 11082, PAGE: 837
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REPUTED OWNER:
OCANA
TAX MAP ID: 211-1-8
DEED BOOK: 14302, PAGE: 284
(FILED MAP 1511, LOT 14)

REPUTED OWNER:
RAAB
TAX MAP ID: 211-1-9.2
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(FILED MAP 1511, LOT 13)

REPUTED OWNER:
RANDALL
TAX MAP ID: 211-1-10
DEED BOOK: 14014, PAGE: 1248
(FILED MAP 1511, LOT 12)

REPUTED OWNER:
CONNORS
TAX MAP ID: 211-1-11
DEED BOOK: 13025, PAGE: 1295
(FILED MAP 1511, LOT 11)

REPUTED OWNER:
HOLBERT
TAX MAP ID: 211-1-12
DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)



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<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	9	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
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<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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LIGHTING PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01
DATE: 12/10/2021
REVISION: 9 - 06/16/2023

DRAWN BY: JM
SCALE: 1" = 40'
TAX LOT: 211-1-29.22

C-108

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DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

REPUTED OWNER:
KOCH
TAX MAP ID: 211-1-13
DEED BOOK: 11557, PAGE: 633
(FILED MAP 1511, LOT 8)

REPUTED OWNER:
LADANYI
TAX MAP ID: 211-1-14
DEED BOOK: 13230, PAGE: 1591
(FILED MAP 1511, LOT 6 & 7)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-15
DEED BOOK: 11886, PAGE: 1833
(FILED MAP 1511, LOT 4)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-16
DEED BOOK: 14209, PAGE: 1
(FILED MAP 1511, LOT 3)

REPUTED OWNER:
FOX
TAX MAP ID: 211-1-17
DEED BOOK: 11996, PAGE: 1
(FILED MAP 1511, LOT 2)

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PALENIK
TAX MAP ID: 211-1-24
DEED BOOK: 13022, PAGE: 1091

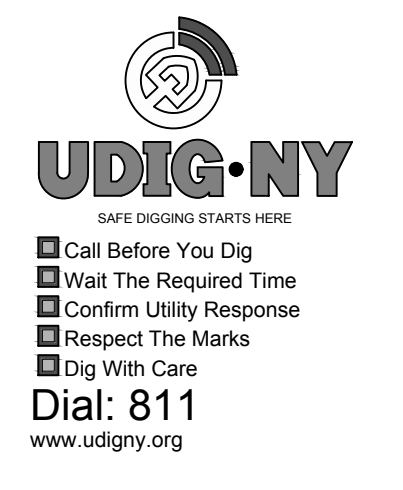
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DEED BOOK: 14213, PAGE: 1498

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REALE
TAX MAP ID: 211-1-26
DEED BOOK: 4608, PAGE: 63

REPUTED OWNER:
MALLEY
TAX MAP ID: 211-1-27
DEED BOOK: 3763, PAGE: 229

REPUTED OWNER:
EMBRO
TAX MAP ID: 211-1-28
DEED BOOK: 3156, PAGE: 41

REPUTED OWNER:
HOEFFNER
TAX MAP ID: 211-1-29-21
DEED BOOK: 4481, PAGE: 324



No.	DATE	DESCRIPTION
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<input type="checkbox"/>	OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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LEGEND

- EDGE OF CURBED ROADWAY
- SIDEWALK
- BUILDING
- RETAINING WALL
- MATCH LINE
- EXISTING PROPERTY LINE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LSI Industries	SLM-LED-18-SIL-SW-30-70CRI 25' POLE 2-6" BASE	LED	2	0.950	18128	135	540
	B	6	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 25' POLE 2-6" BASE	LED	1	0.950	18526	135	810
	C	6	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 25' POLE 2-6" BASE	LED	1	0.950	18421	135	810
	D	16	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 30' WALL MOUNTING HEIGHT	LED	1	0.950	18526	135	2160
	E	18	LSI Industries	SLM-LED-12-SIL-3-30-70CRI 20' WALL MOUNTING HEIGHT	LED	1	0.950	11803	85	1020
	F	7	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI-IL 25' POLE 2-6" BASE	LED	1	0.950	10708	135	945
	G	9	LSI Industries	SLM-LED-18-SIL-2-30-70CRI-IL 25' POLE 2-6" BASE	LED	1	0.950	18128	135	1215

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LIGHTING PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01
DATE: 12/10/2021
REVISION: 9 - 06/16/2023

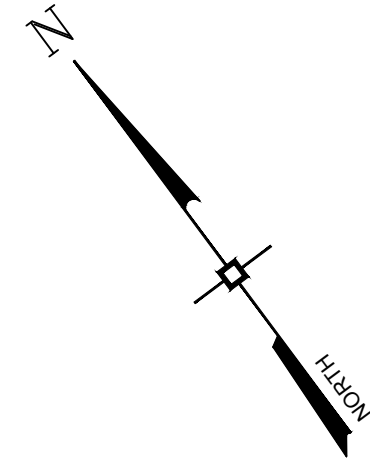
DRAWN BY: JM
SCALE: 1" = 40'
TAX LOT: 211-1-29-22

C-109

RETENTION/DETENTION POND PLANTINGS:

- DRAW DOWN ZONE/ EMERGENT AREA:
NORTHEAST WETLAND NATIVE WILDOFLOWER MIX
- PERMANENT GRASS MIX
- NORTHEAST WETLAND GRASS SEED MIX

PLANTS LIST							
SYMBOL	TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
	DECIDUOUS TREES	Ao	17	Acer Rubrum "October Glory"	October Glory Red Maple	3"-3-1/2" c	B4B
		Lp	5	Platanus x Acerifolia	London Planetree	3"-3-1/2" c	B4B
		Pr	11	Prunus Subhirtella "Autumnalis"	Higan Cherry	2"- 2-1/2" c	B4B
		Pe	16	Prunus serrulata "Kwanzan"	Kwanzan Cherry	2"- 2-1/2" c	B4B
		Qp	24	Quercus Palustris	Pin Oak	3"- 3-1/2" c	B4B
	EVERGREEN TREES	Tc	3	Tilia Cordata "Greenspire"	Greenspire Linden	3"- 3-1/2" c	B4B
		Ns	42	Picea Abies	Norway Spruce	1' - 8' hgt	B4B
		Ts	94	Thuja Standishii x Plicata "Green Giant"	Green Giant Arborvitae	6' - 1' hgt	B4B
	EVERGREEN SHRUBS	Ig	34	Ilex Glabra	Inkberry Holly	34" - 36"	B4B
		Vr	51	Viburnum Rhytidophyllum	Leather Leaf Viburnum	34" - 36"	B4B
	DECIDUOUS SHRUBS	Aa	29	Amelanchier Canadensis	Shadblow Serviceberry	30" - 34"	B4B
		Sd	22	Cornus Amomum	Silky Dogwood	30" - 34"	Container



PERMANENT SEEDING SCHEDULE

- TOPSOIL SHALL BE SPREAD TO A UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSEMED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
- SEEDING SHALL BE INSTALLED AT 3 LBS./1000 SQ. FT. OF:
 - 60% KENTUCKY BLUE GRASS
 - 20% CHEUNG'S PEGUE
 - 20% PERENNIAL RYE

PLANTING SCHEDULE

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1



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DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	06/16/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input type="checkbox"/> PLANNING BOARD APPROVAL	11 OF 13
<input type="checkbox"/> OCCOCH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCCOCH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER APPROVAL	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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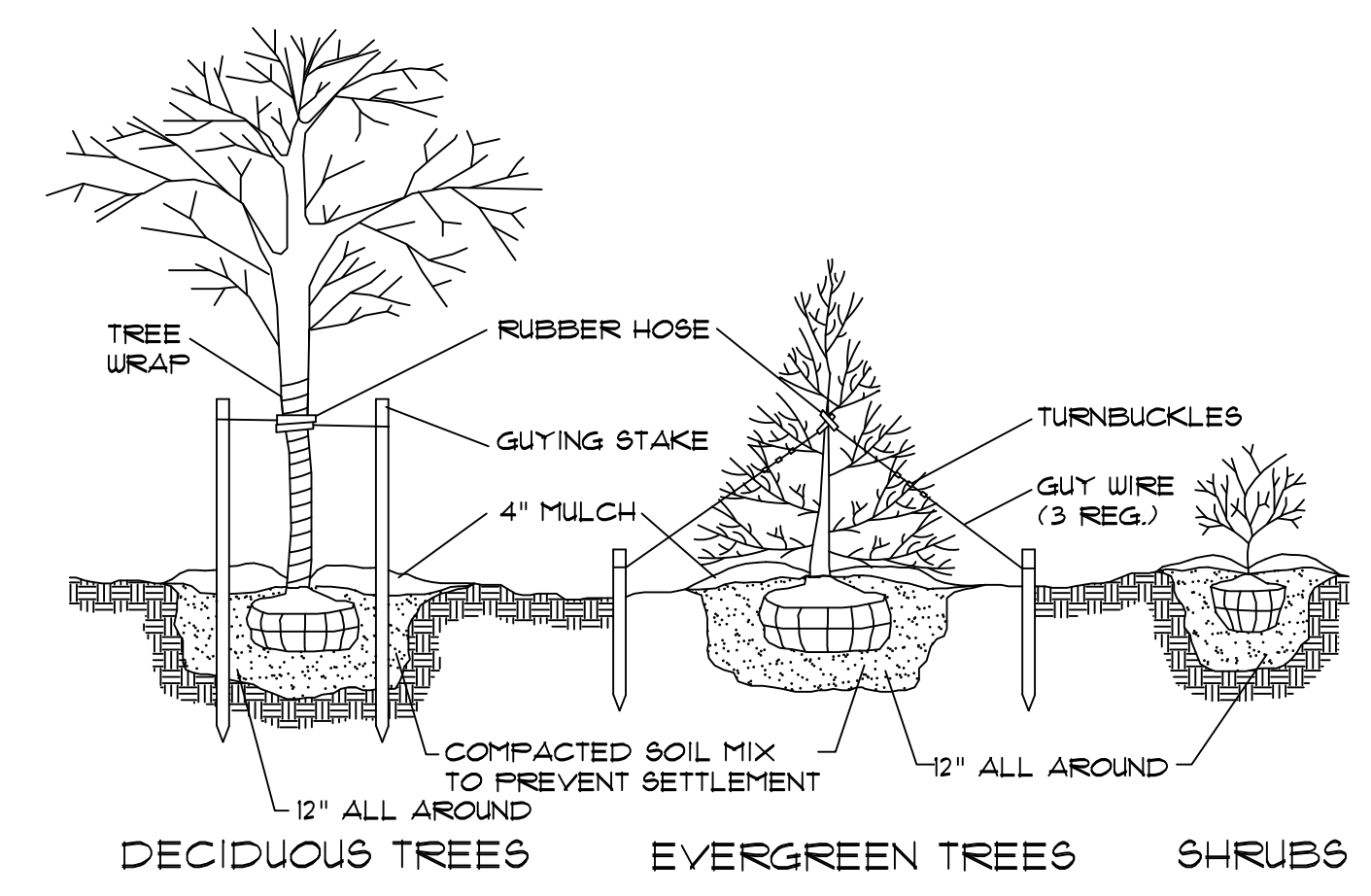
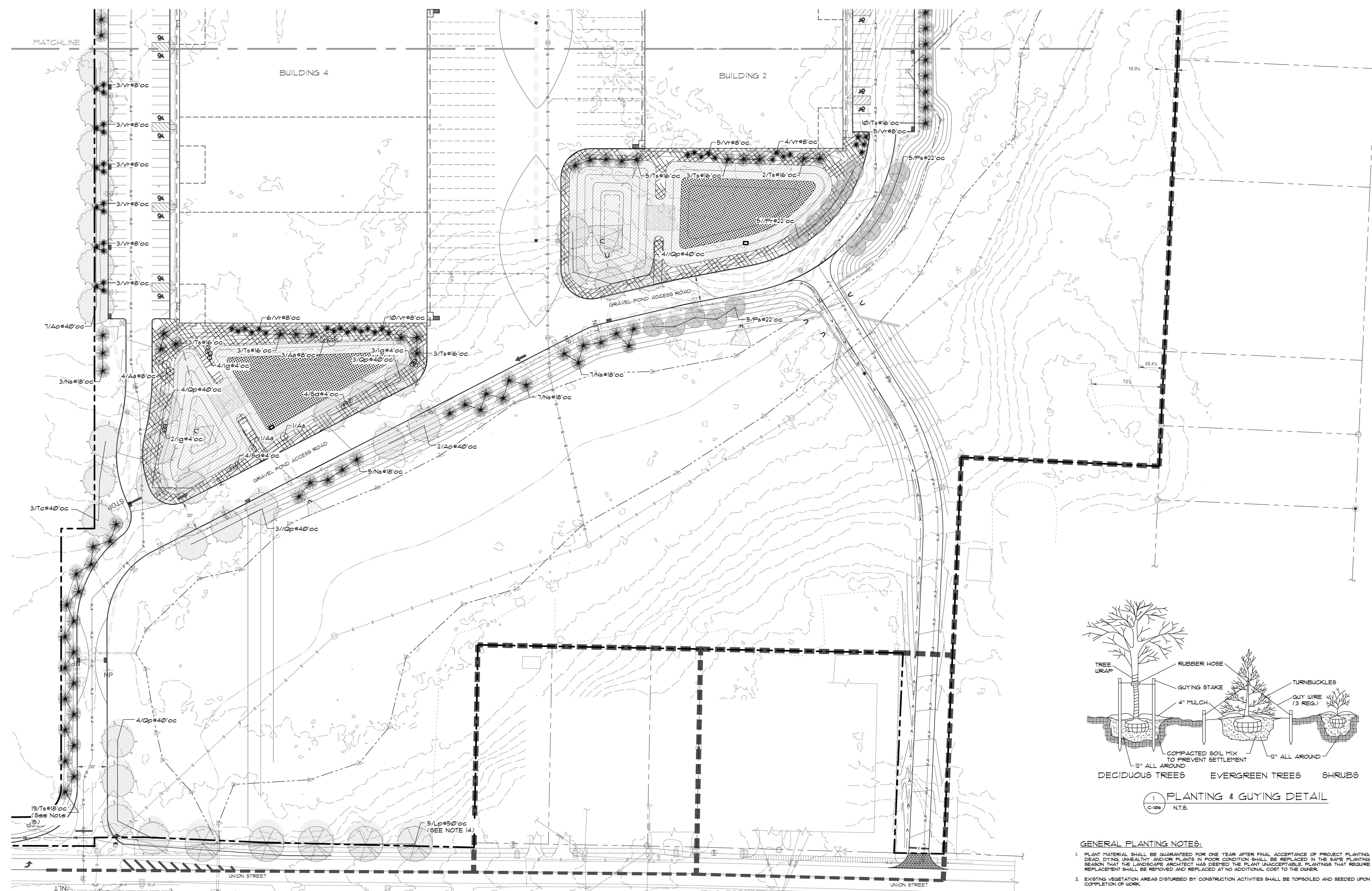
LANDSCAPE PLAN & DETAILS

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
DATE: 12/10/2021 SCALE: 1" = 40'
REVISION: 9 - 06/16/2023 TAX LOT: 211-1-29.22

C-110

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1 PLANTING & GUYING DETAIL
C-106 N.T.S.

- GENERAL PLANTING NOTES:**
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY, AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND BEDED UPON COMPLETION OF WORK.
 - NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
 - ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
 - CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
 - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
 - CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
 - TYPICALLY SHRUBS AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
 - CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
 - ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4".
 - PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.
 - PLANT UP TO FIVE (5) LONDON PLANETREE ALONG UNION AVE ROW TO SUPPLEMENT EXISTING VEGETATION. LOCATIONS TO BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT AND VILLAGE ENGINEER IN THE FIELD.
 - THE NINETEEN (19) GIANT ARBORVITAE ALONG THE MAIN ENTRANCE SHALL BE MAINTAINED IN PERPETUITY TO ENSURE THE SOUND DAMPENING EFFECTS.

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<input type="checkbox"/> PLANNING BOARD APPROVAL	12 OF 13
<input type="checkbox"/> COCDOM REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> COCDOM WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
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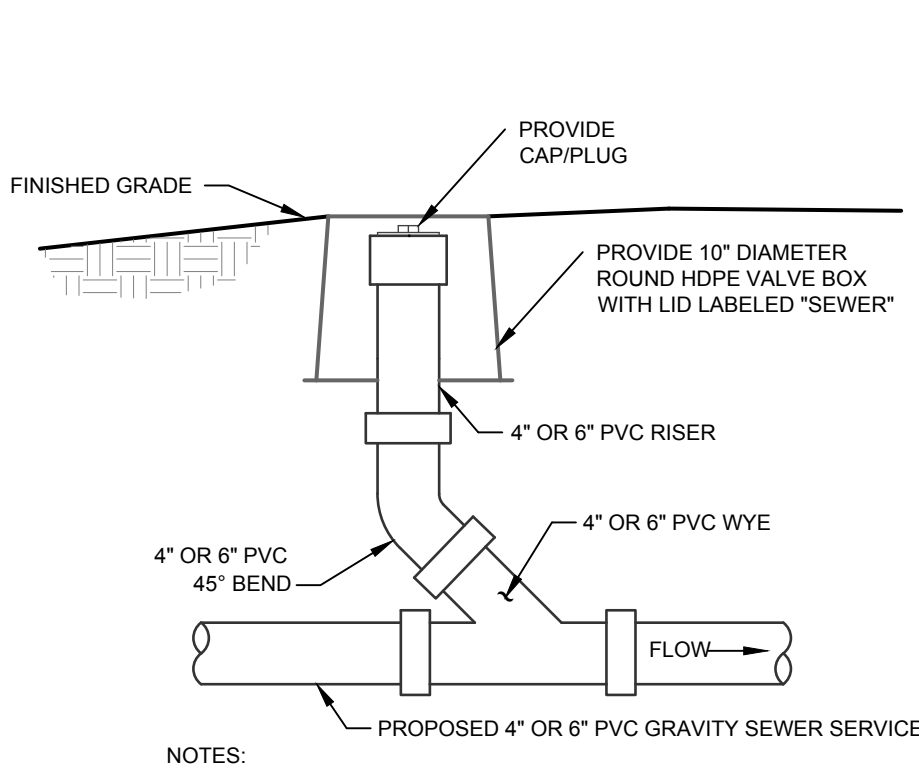
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LANDSCAPE PLAN & DETAILS

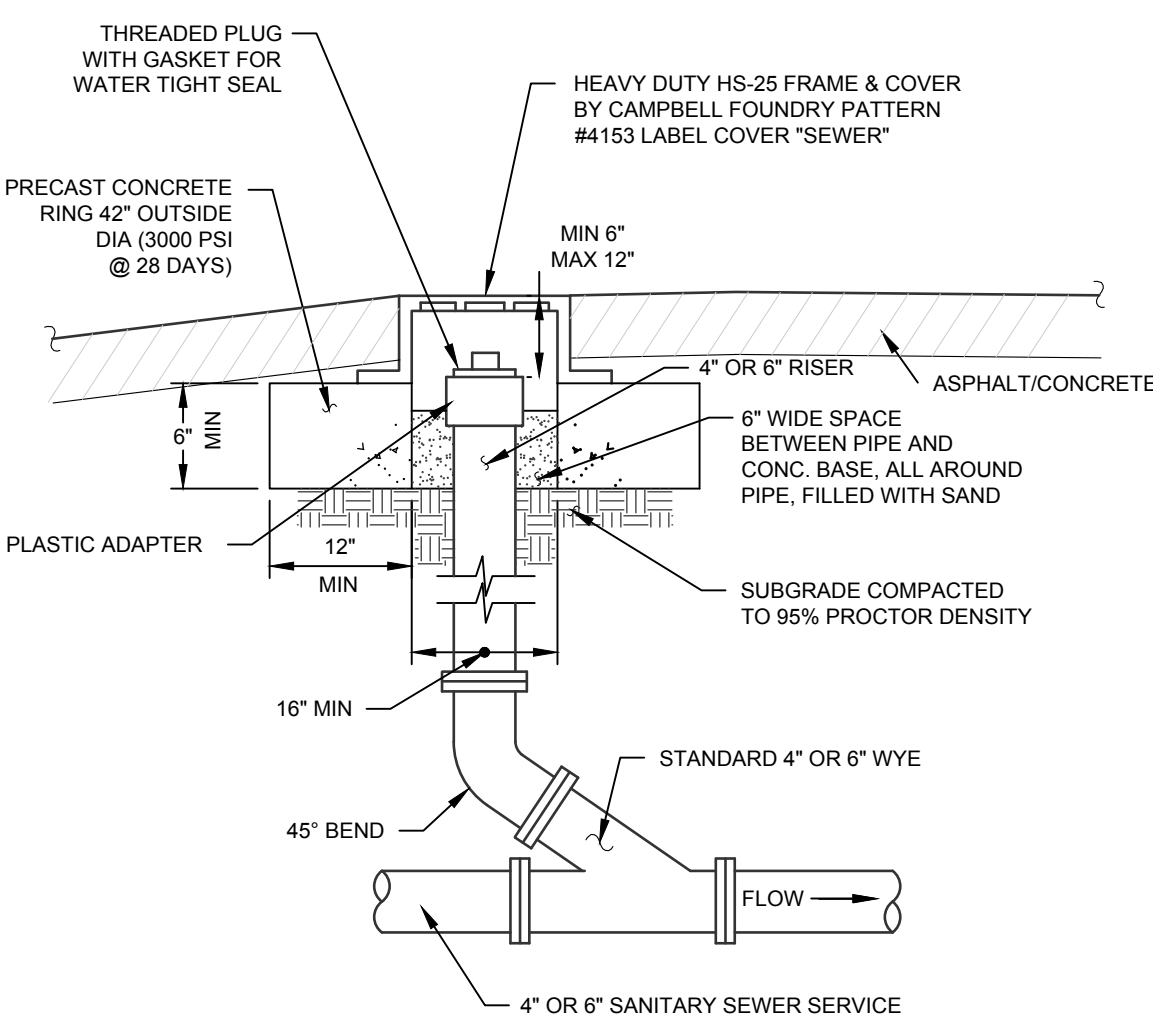
KSH ROUTE 211 DEVELOPMENT
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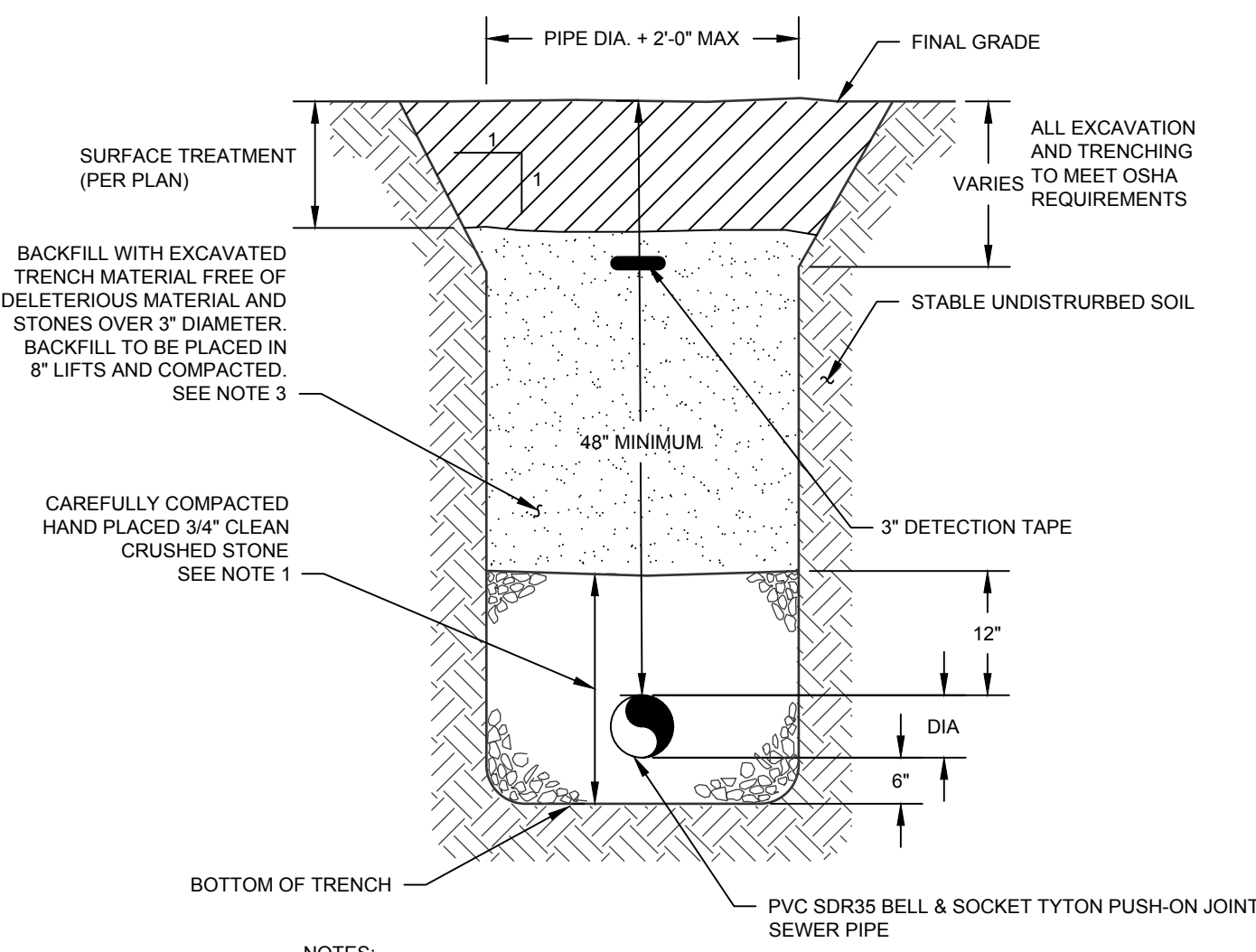
TYPICAL CLEANOUT
SCALE: NONE



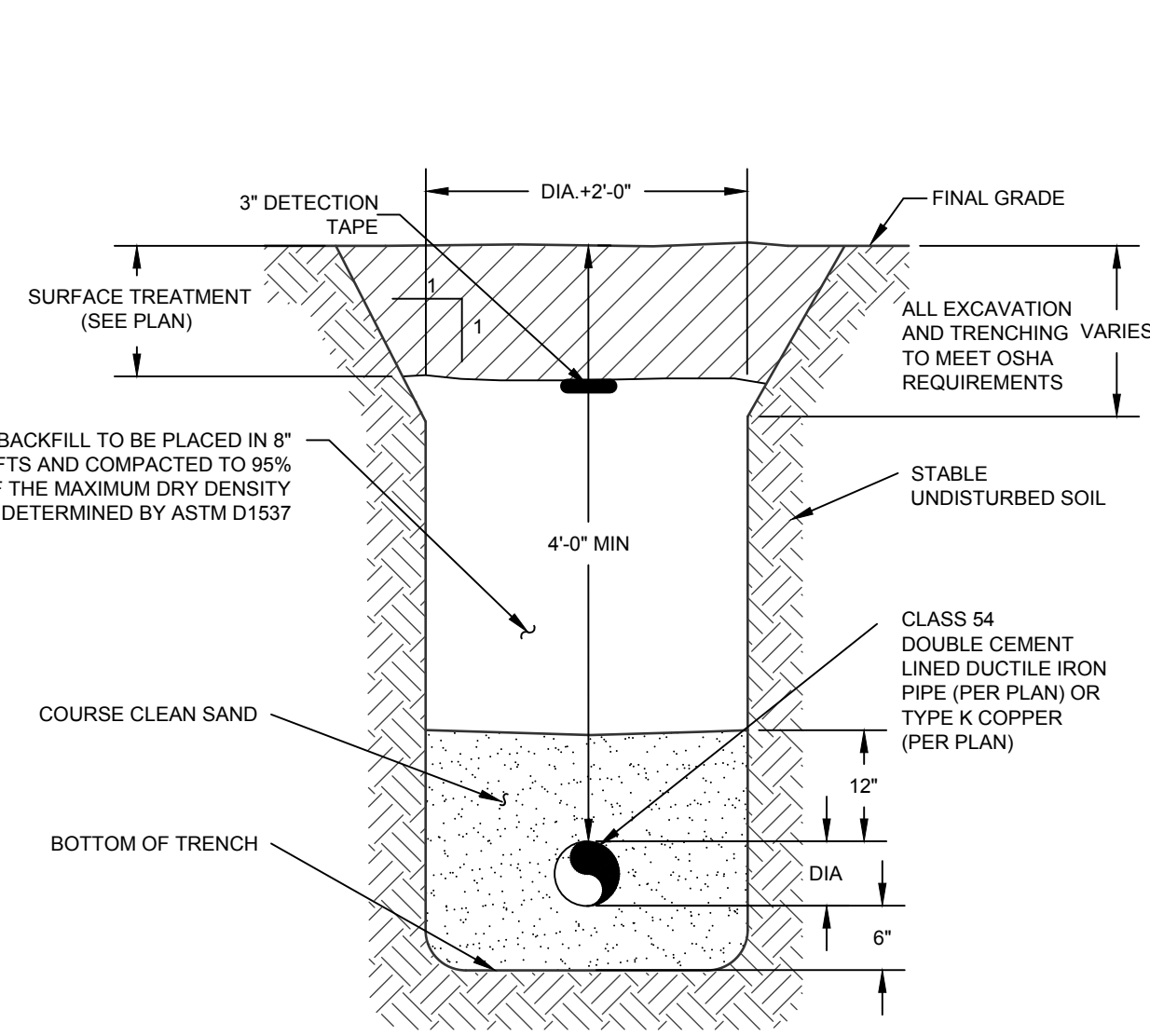
TYPICAL CLEANOUT IN PAVED AREA
SCALE: NTS

SEWER SYSTEM NOTES

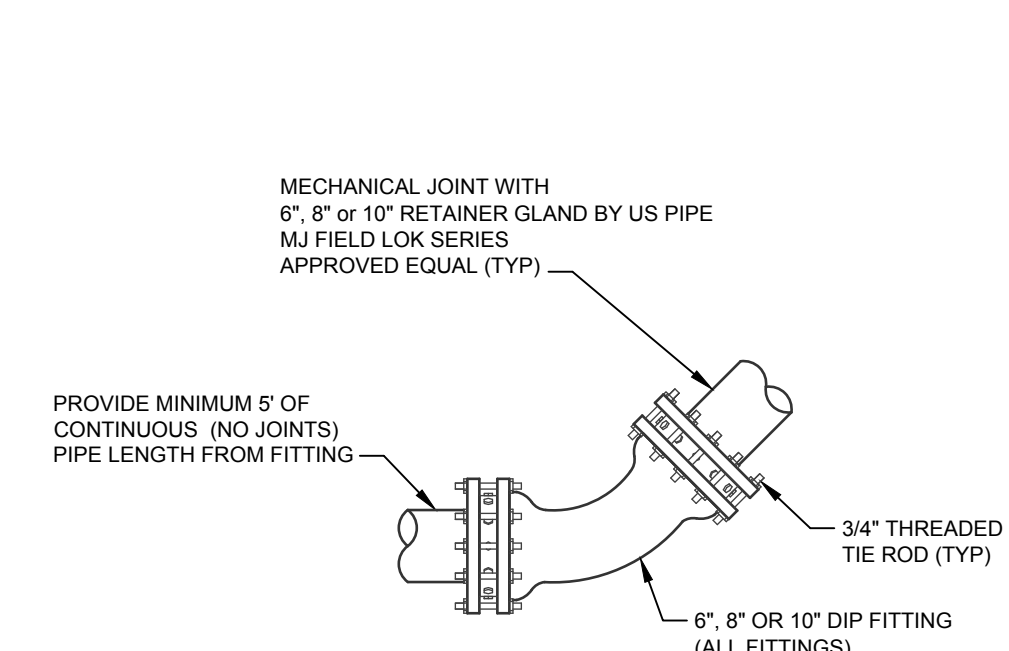
- ALL GRAVITY SEWER PIPE SHALL BE SDR-35 PVC AND ALL FORCEMAIN SEWER PIPE SHALL BE SDR-35 PVC.
- IF GROUNDWATER IS ENCOUNTERED DURING TRENCH EXCAVATION, THE CONTRACTOR SHALL DEWATER THE TRENCH PRIOR TO INSTALLATION. ALL DEWATERING OPERATIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO VERIFY INVERT ELEVATIONS OF EXISTING SEWER MAIN PRIOR TO COMMENCEMENT OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT.
- CONTRACTOR SHALL CALL THE VILLAGE OF MONTGOMERY DEPARTMENT OF PUBLIC WORKS (645-457-3095) AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS.
- CONTRACTOR SHALL CALL UNDERGROUND MARKOUT AT 1-800-962-7962 AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS FOR COMPLETE UTILITY MARKOUT.
- THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH VILLAGE OF MONTGOMERY TOWN CODE SECTION 194-26, INCLUDING BUT NOT LIMITED TO VACUUM TESTING OF MANHOLES, LOW PRESSURE AIR TEST OF MAINS AND LATERALS, AND VIDEO RECORDING OF ALL MAINS.
- THE PROPOSED SEWERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH ALL VILLAGE OF MONTGOMERY REQUIREMENTS. THE PROPOSED SEWERMAIN SHALL BE OWNED AND MAINTAINED BY THE PROJECT SPONSOR.



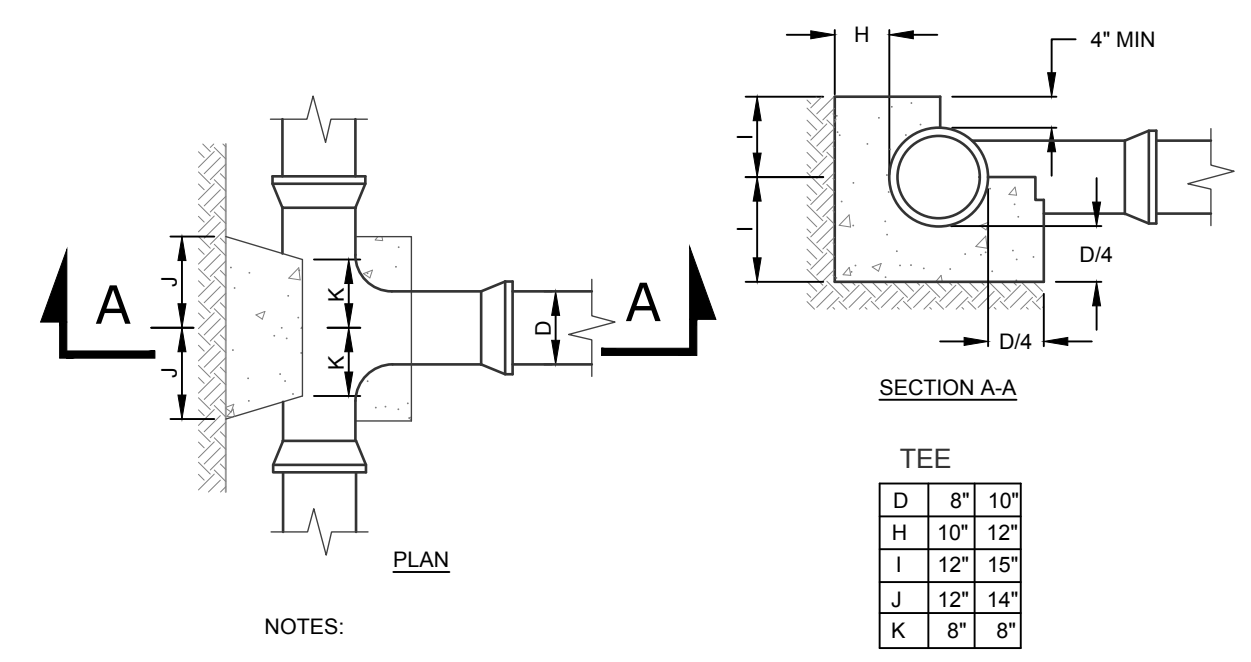
WATER PIPE TRENCH
SCALE: NTS



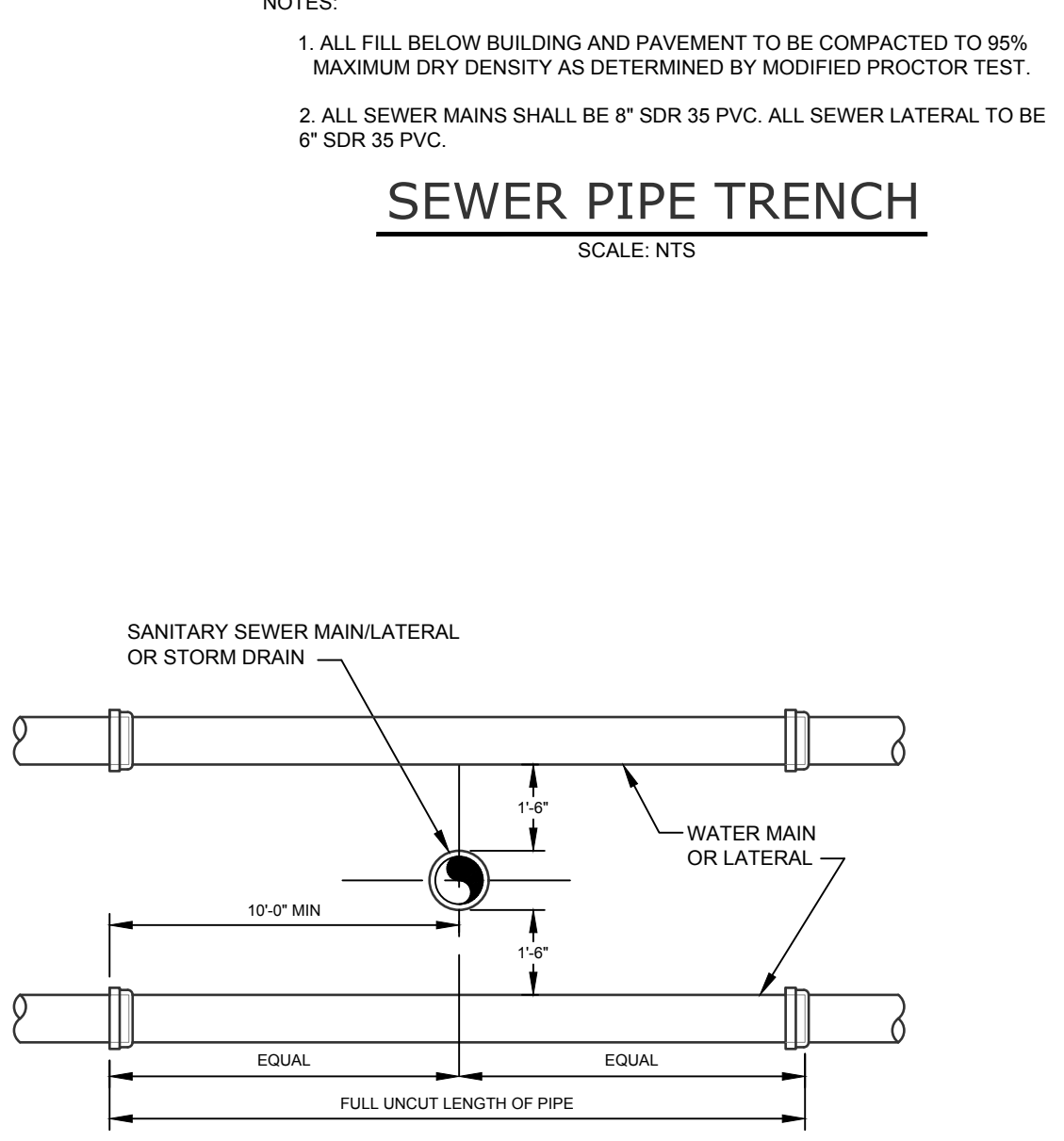
WATER MAIN OFFSET WITH RESTRAINTS
SCALE: N.T.S.



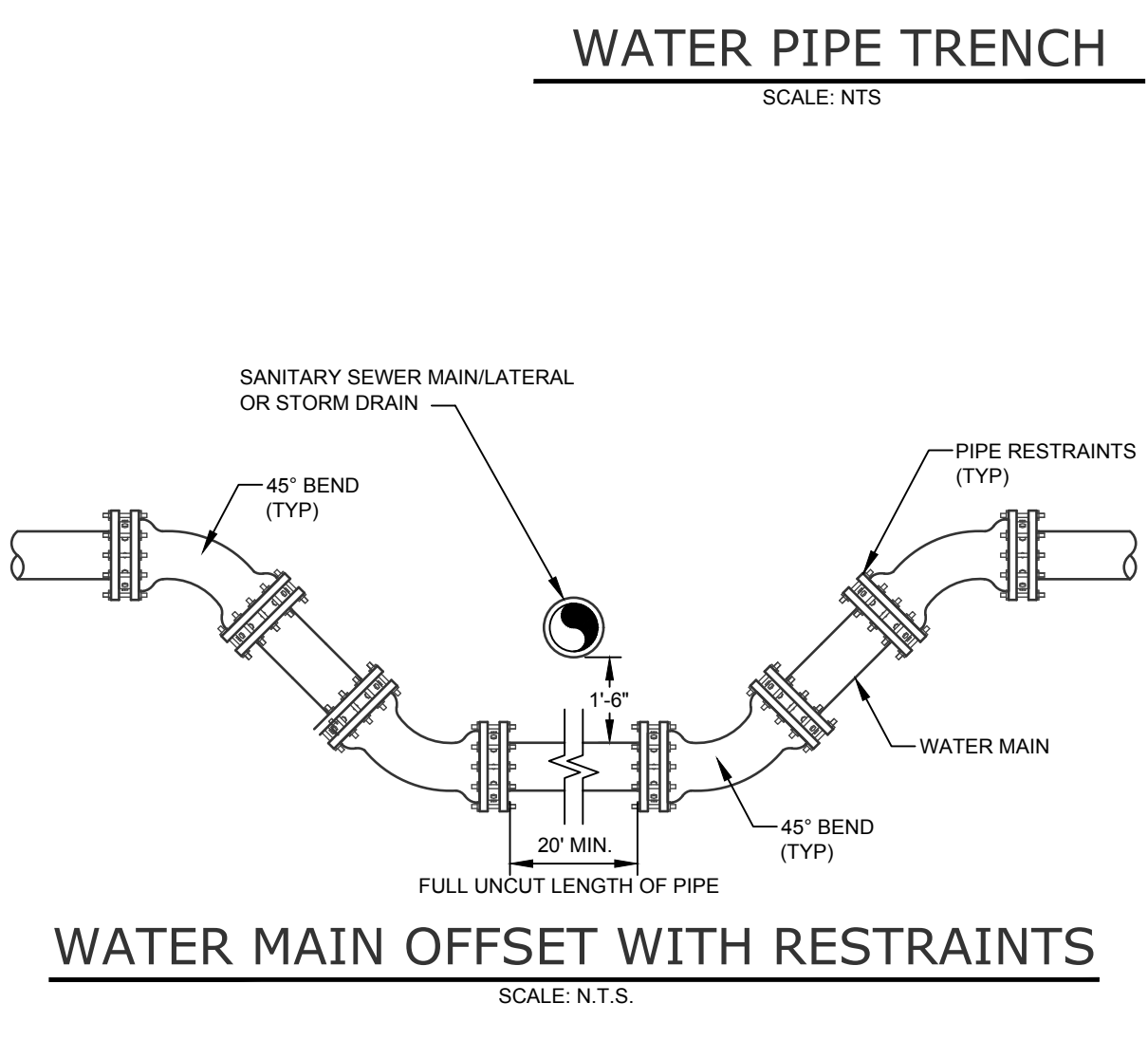
PIPE RESTRAINT (RETAINER GLAND) DETAIL
SCALE: NTS



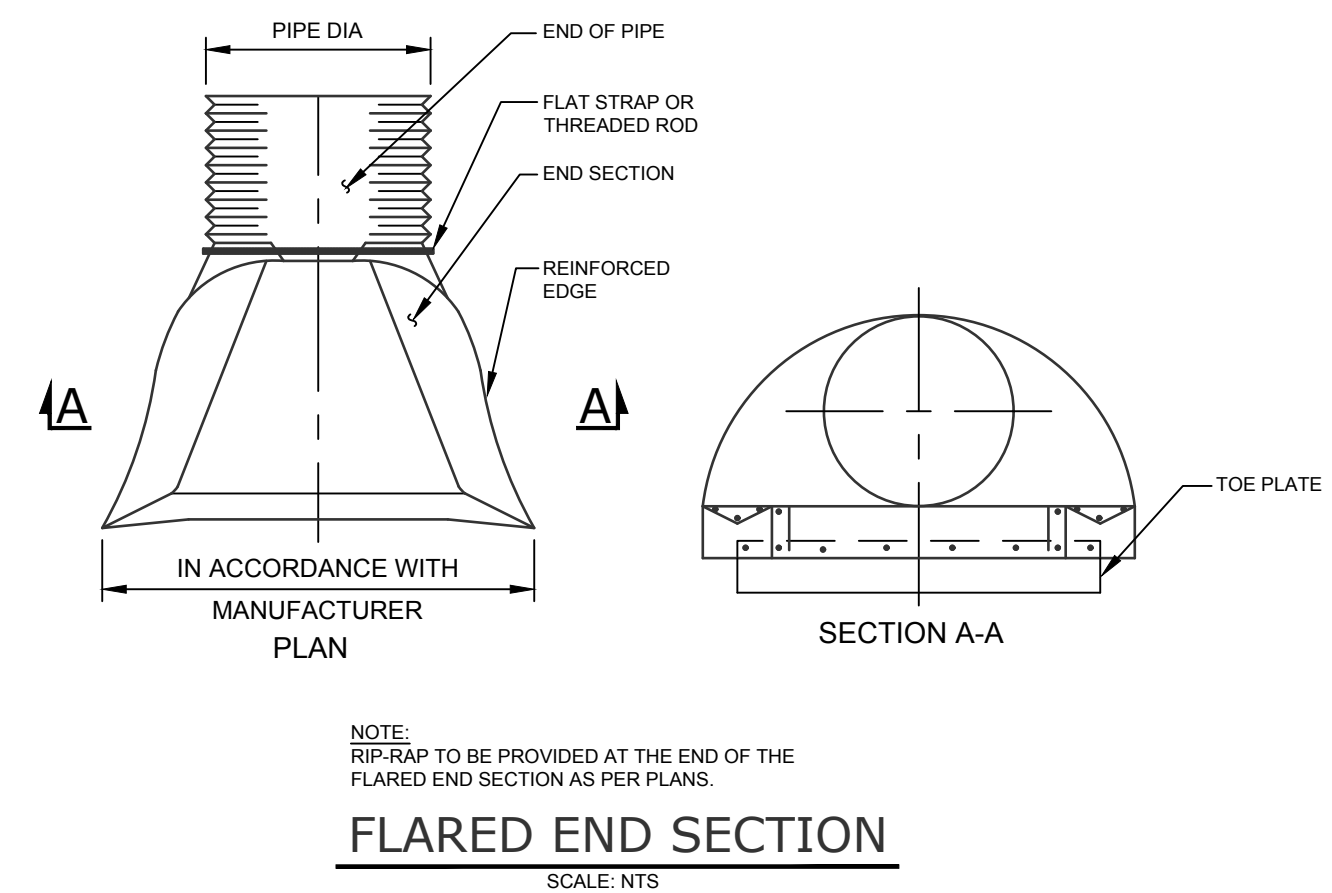
THRUST BLOCK
SCALE: NTS



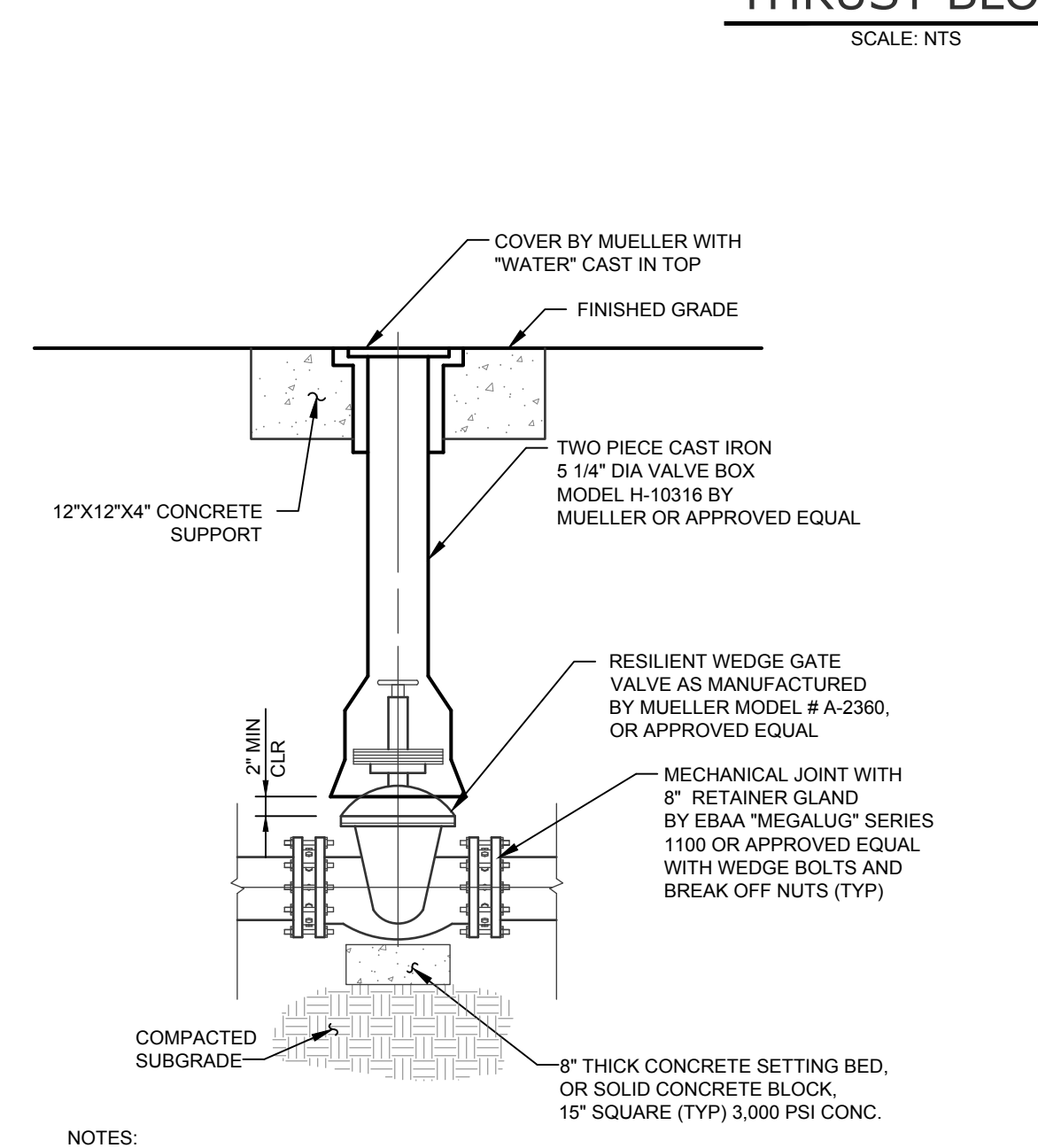
SEWER PIPE TRENCH
SCALE: NTS



WATER MAIN OFFSET WITH RESTRAINTS
SCALE: N.T.S.

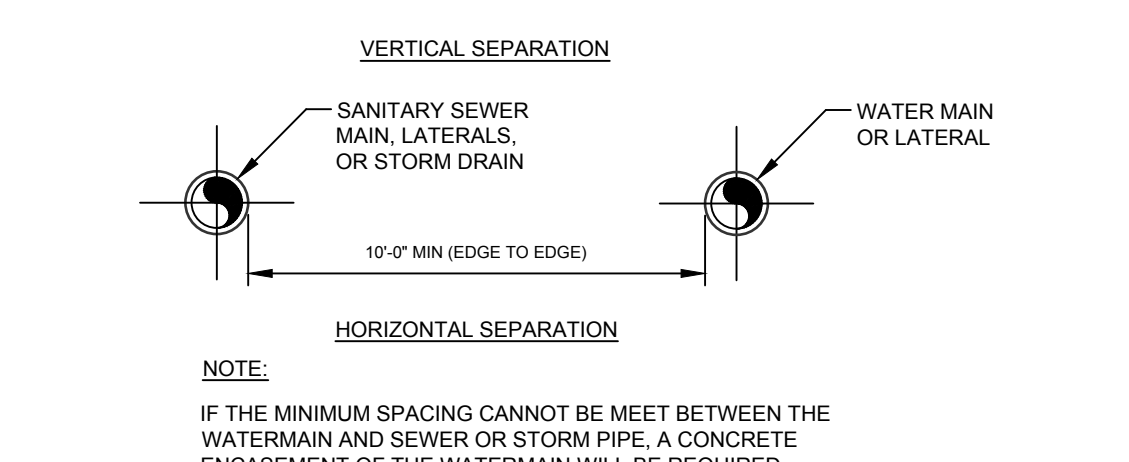


FLARED END SECTION
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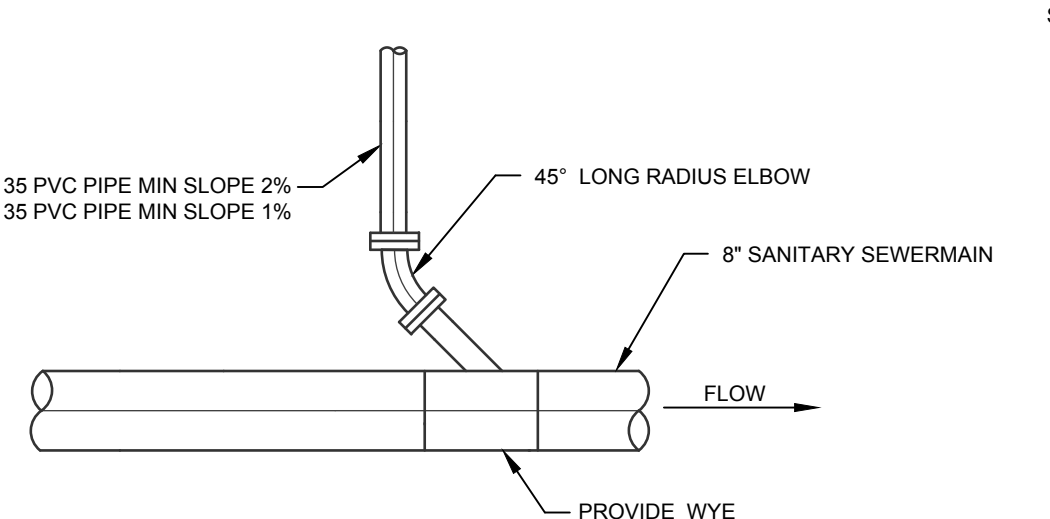


VALVE AND VALVE BOX
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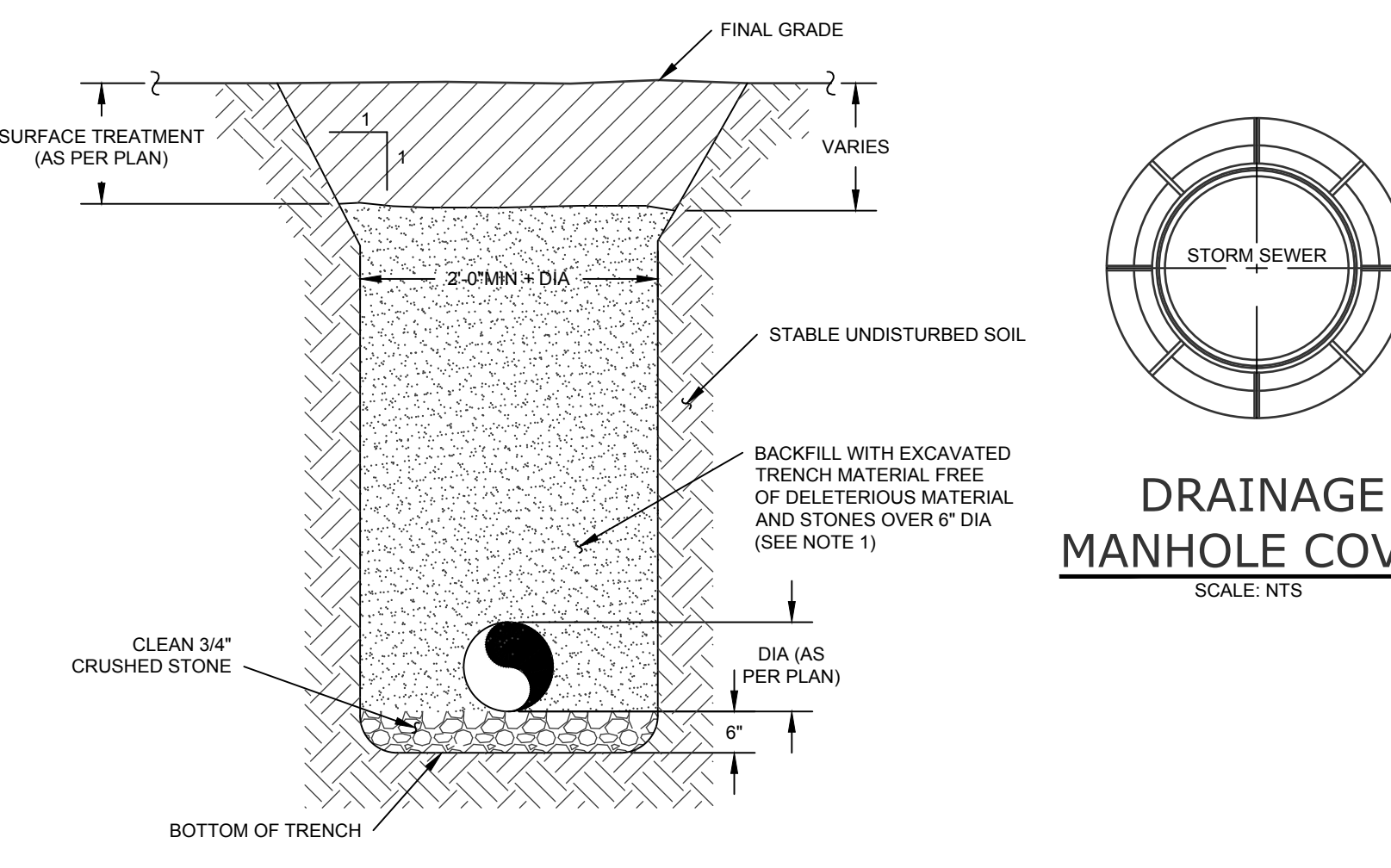
WATER/SEWER SEPARATION REQUIREMENTS



WATER/SEWER SEPARATION REQUIREMENTS
SCALE: NTS



SEWER SERVICE CONNECTION
SCALE: NTS



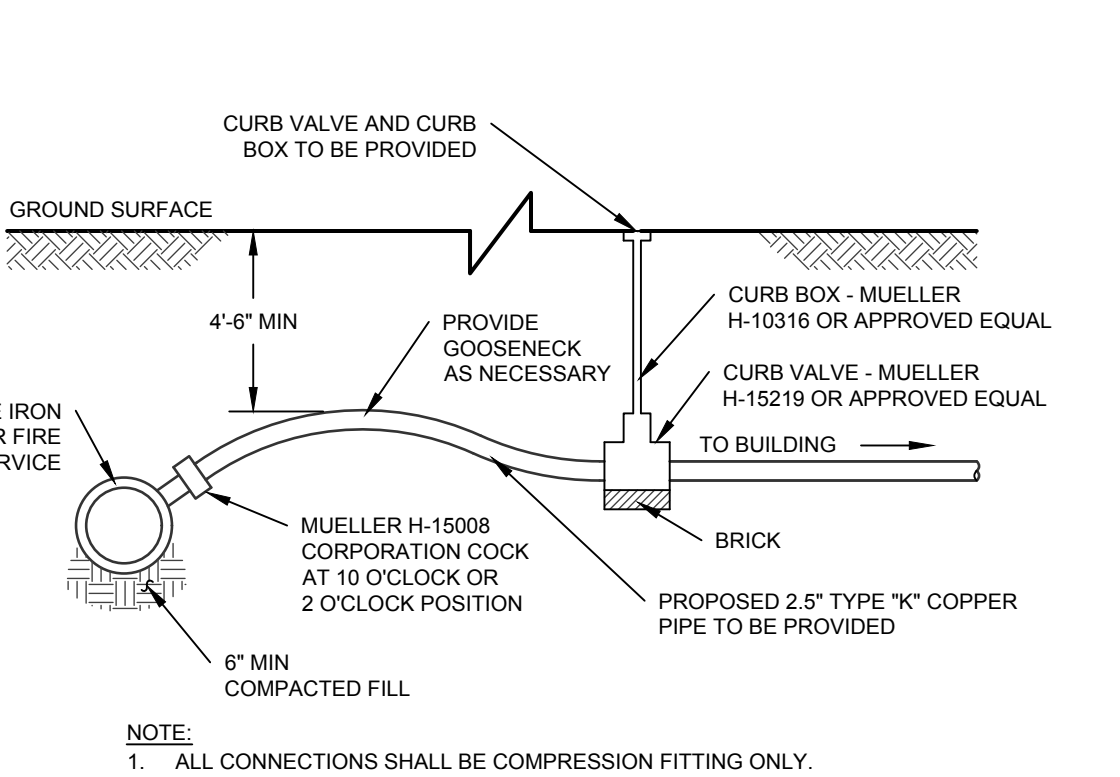
DRAINAGE PIPE TRENCH
SCALE: NTS



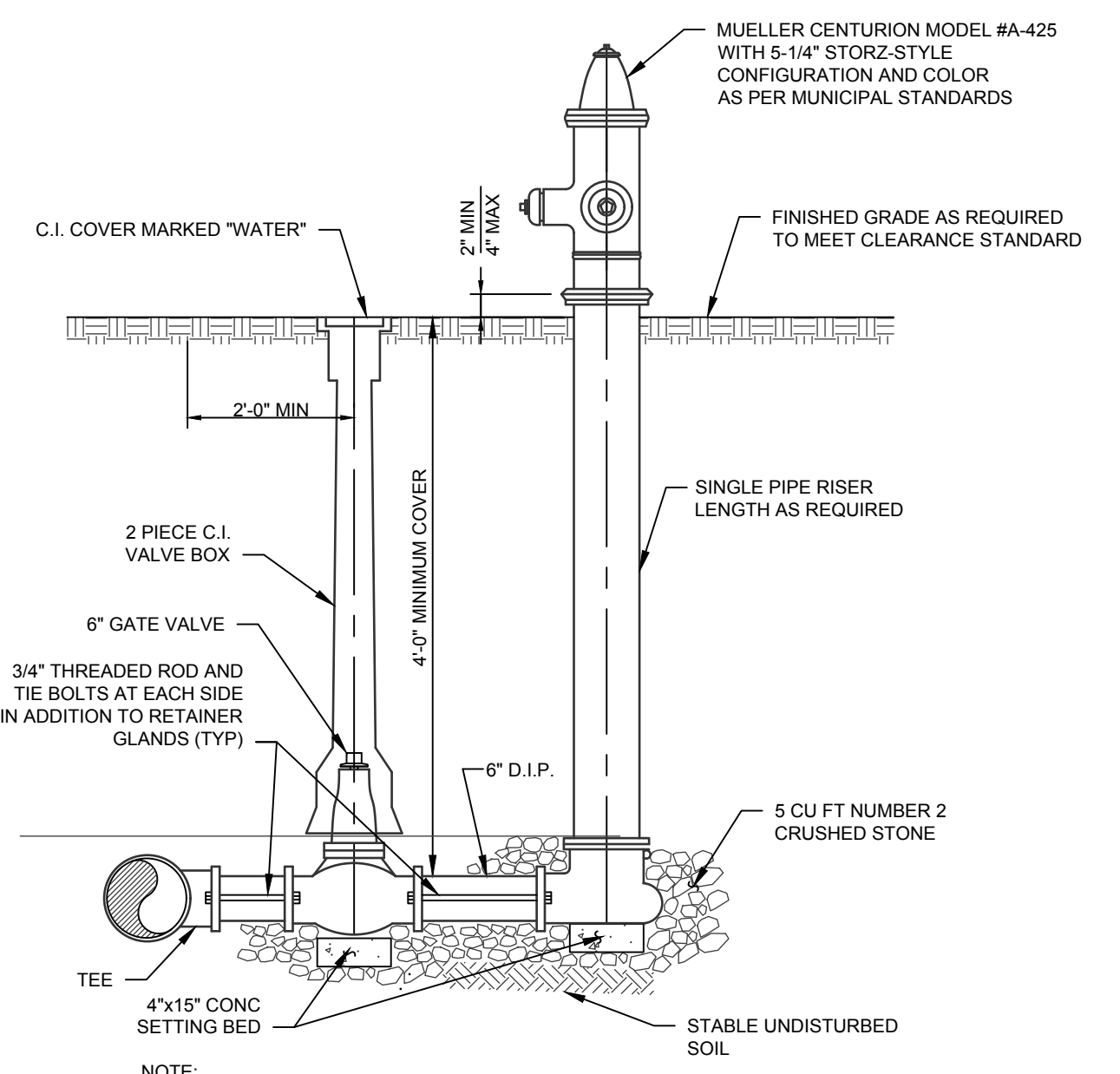
DRAINAGE MANHOLE COVER
SCALE: NTS

WATER SYSTEM NOTES

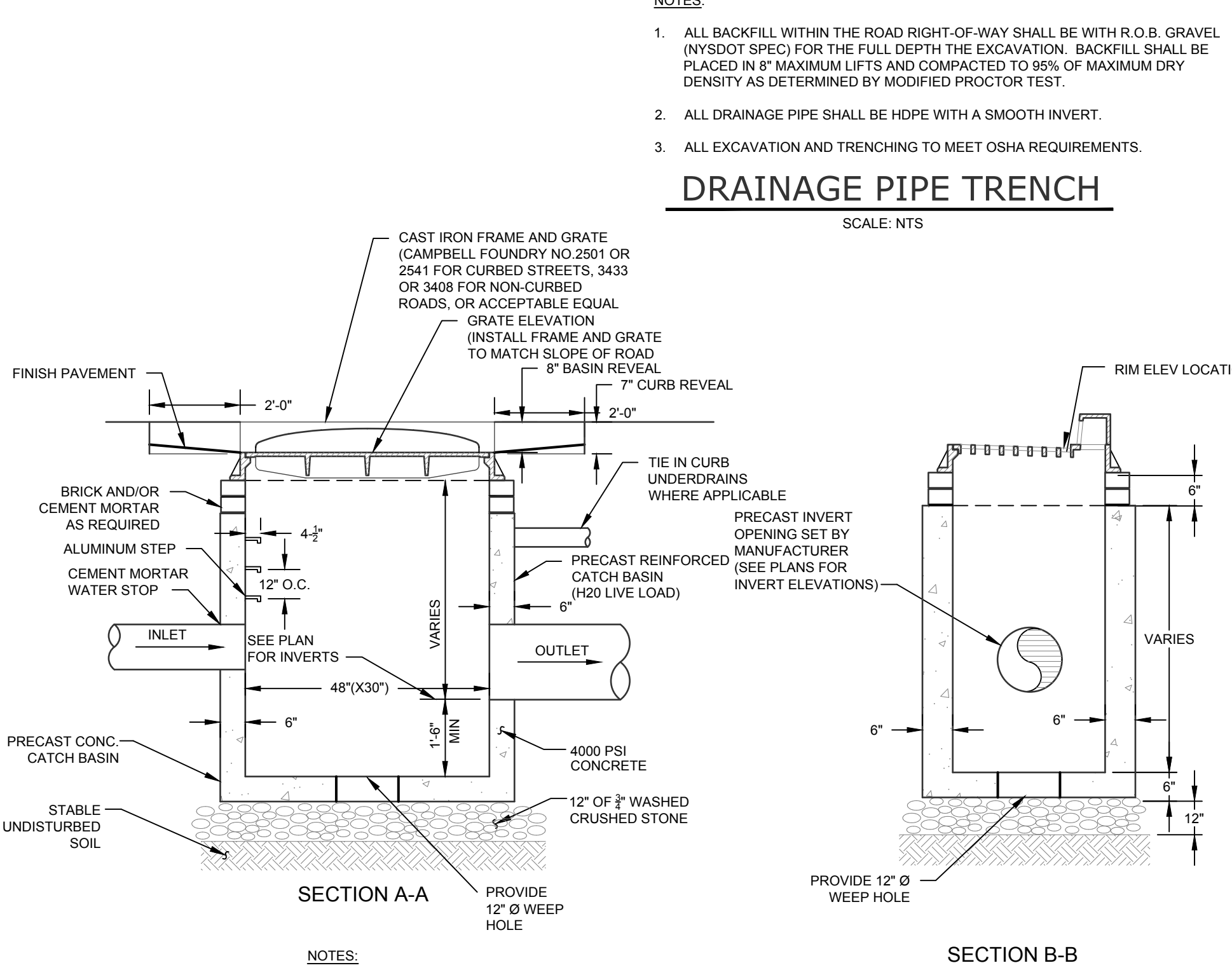
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING WATER AND SEWER UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO CALL UNDERGROUND MARK-OUT AT LEAST 2 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT 1-800-962-7962 FOR COMPLETE UTILITIES MARKOUT.
- CONTRACTOR TO CONTACT VILLAGE OF MONTGOMERY DEPARTMENT OF PUBLIC WORKS AT LEAST 2 DAYS PRIOR TO CONSTRUCTION.
- WATER MAIN 4" OR LARGER TO BE CLASS 54 BITUMINOUS COATED DOUBLE CEMENT LINED DUCTILE IRON PIPE.
- CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY DEVIATION FROM HORIZONTAL OR VERTICAL ALIGNMENTS WITH REGARDS TO EXISTING UTILITIES BEFORE PROCEEDING.
- A CERTIFIED AS BUILT MAP OF THE WATER SYSTEM IMPROVEMENTS SHALL BE PROVIDED TO THE VILLAGE OF MONTGOMERY WATER DEPARTMENT BY A LICENSED DESIGN PROFESSIONAL.
- THIS PROJECT HAS DEMONSTRATED AN AVAILABLE FLOW OF 2.076 GALLONS PER MINUTE WHILE MAINTAINING A MINIMUM OF 20 PSI AT ALL POINTS IN THE DISTRIBUTION SYSTEM. THIS VALUE SHOULD BE COMPARED TO THE NEEDED FIRE FLOW (NFF) FOR THE PROPOSED CONSTRUCTION IN ACCORDANCE WITH THE INSURANCE SERVICES OFFICE (ISO) GUIDELINES. PER THE RECOMMENDED STANDARDS FOR WATER WORKS (NYS STATE CODE PART 5, APPENDIX 5-A), THE NEEDED FIRE FLOW FOR THE PROPOSED CONSTRUCTION IS 500 GPM AAS PER ISO GUIDELINES.
- ALL PIPE, FITTINGS AND FITTINGS MUST COMPLY WITH THE FEDERAL SAFE DRINKING WATER ACT, SECTION 1417 WHICH REQUIRES ALL SURFACES IN CONTACT WITH POTABLE WATER CONTAIN NO MORE THAN 0.25% LEAD BY WEIGHT.
- THE VILLAGE OF MONTGOMERY COMMISSIONER OF PUBLIC WORKS OR HIS DESIGNATED REPRESENTATIVE MUST BE INFORMED OF ANY HYDROSTATIC OR BACTERIOLOGICAL TESTING TO PERMIT THE TESTING TO BE WITNESSED.
- THE VILLAGE OF MONTGOMERY COMMISSIONER OR PUBLIC WORKS OR HIS DESIGNATED REPRESENTATIVE MUST ACCEPT HYDROSTATIC AND BACTERIOLOGICAL TEST RESULTS AS ADEQUATE.
- THE PROPOSED WATERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH ALL VILLAGE OF MONTGOMERY REQUIREMENTS. THE PROPOSED WATERMAIN SHALL BE OWNED AND MAINTAINED BY THE PROJECT SPONSOR.



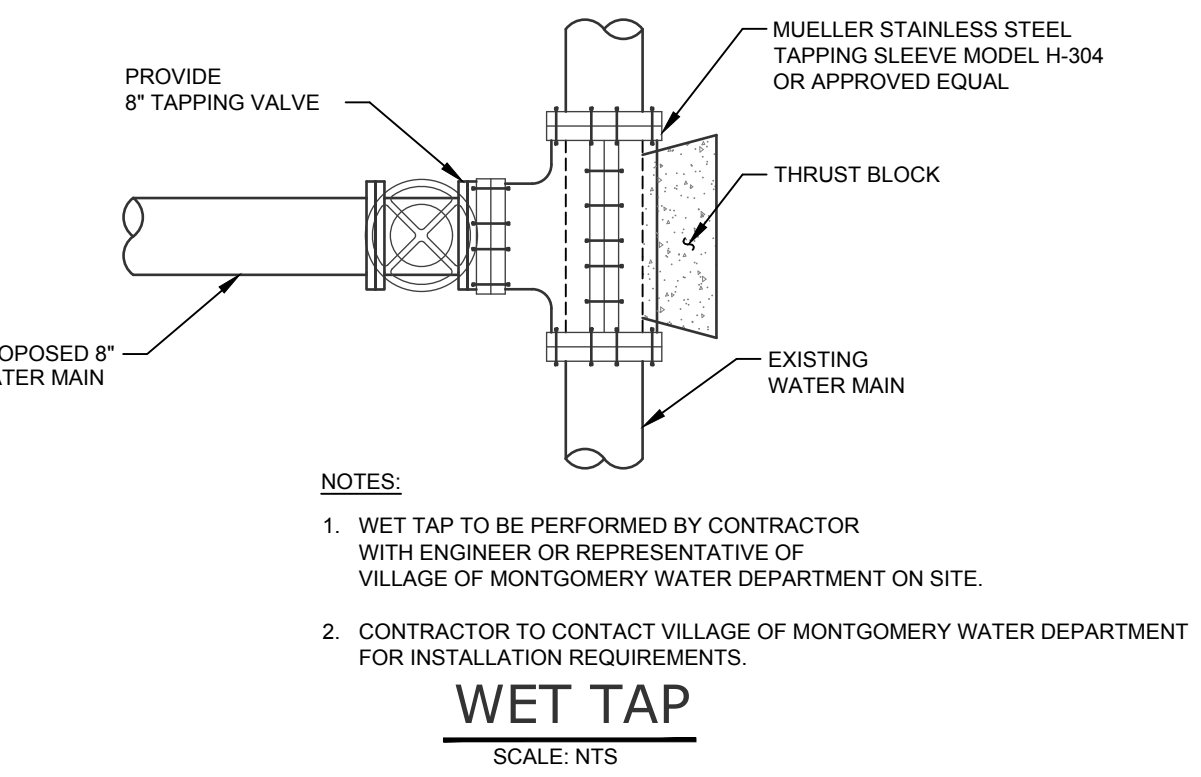
DOMESTIC WATER SERVICE CONNECTION
SCALE: NTS



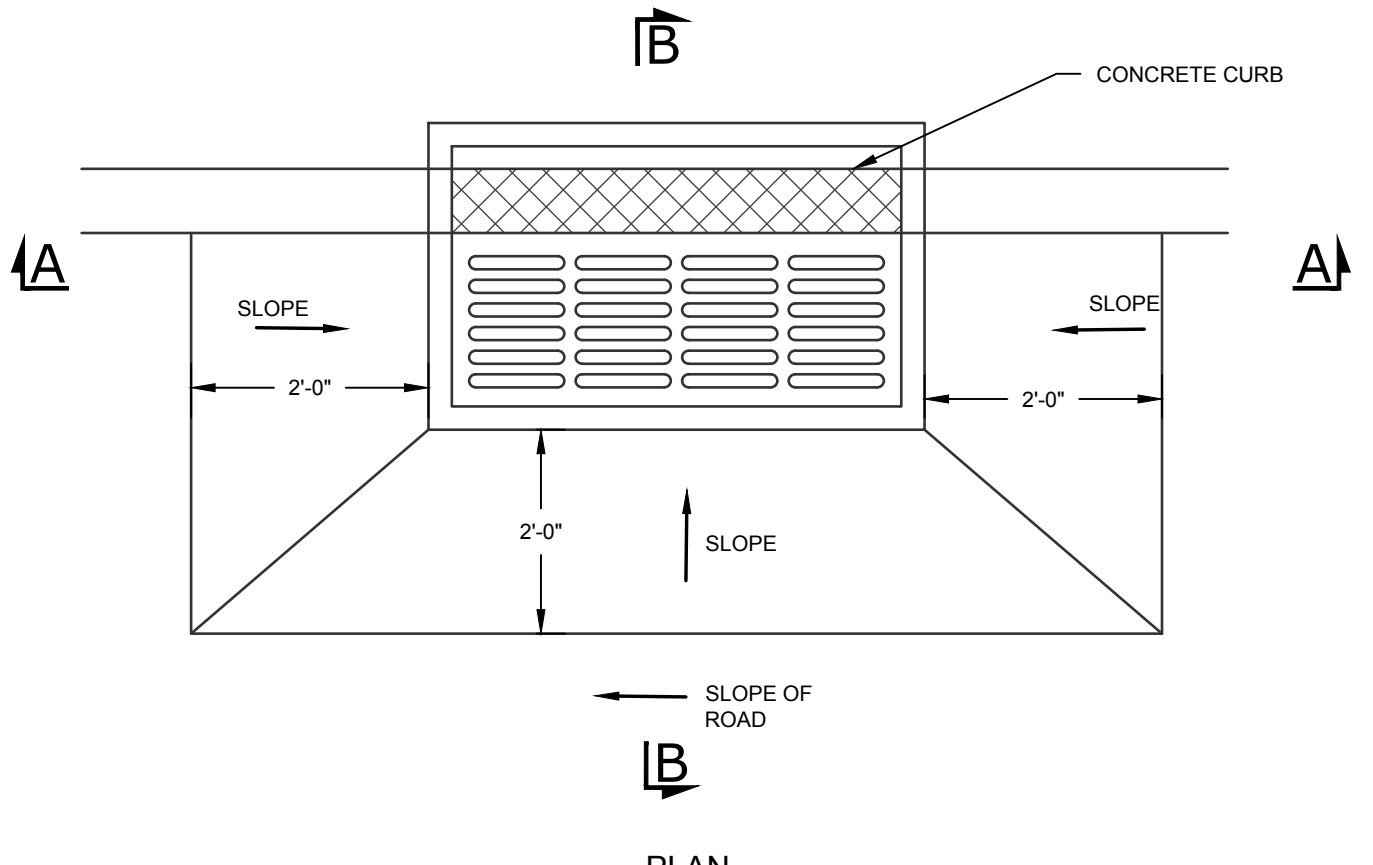
HYDRANT AND HYDRANT VALVE
SCALE: NTS



CATCH BASIN
SCALE: NTS



WET TAP
SCALE: NTS



PLAN

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<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	13	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
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<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 07101

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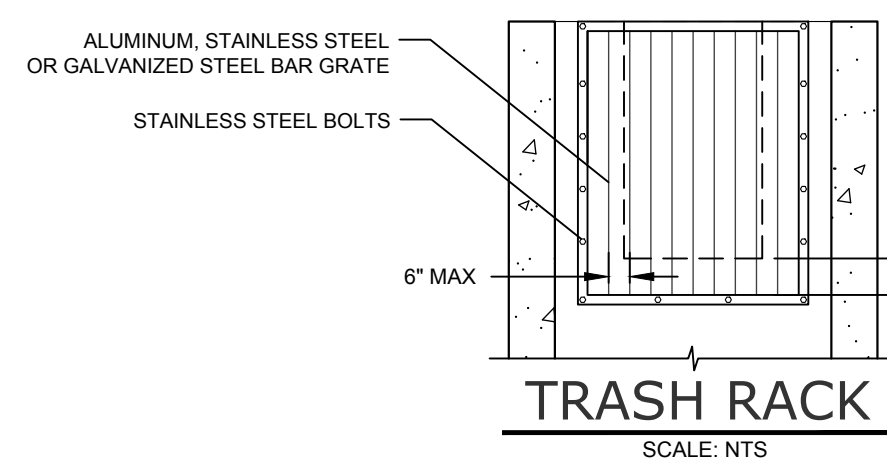
DETAILS

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

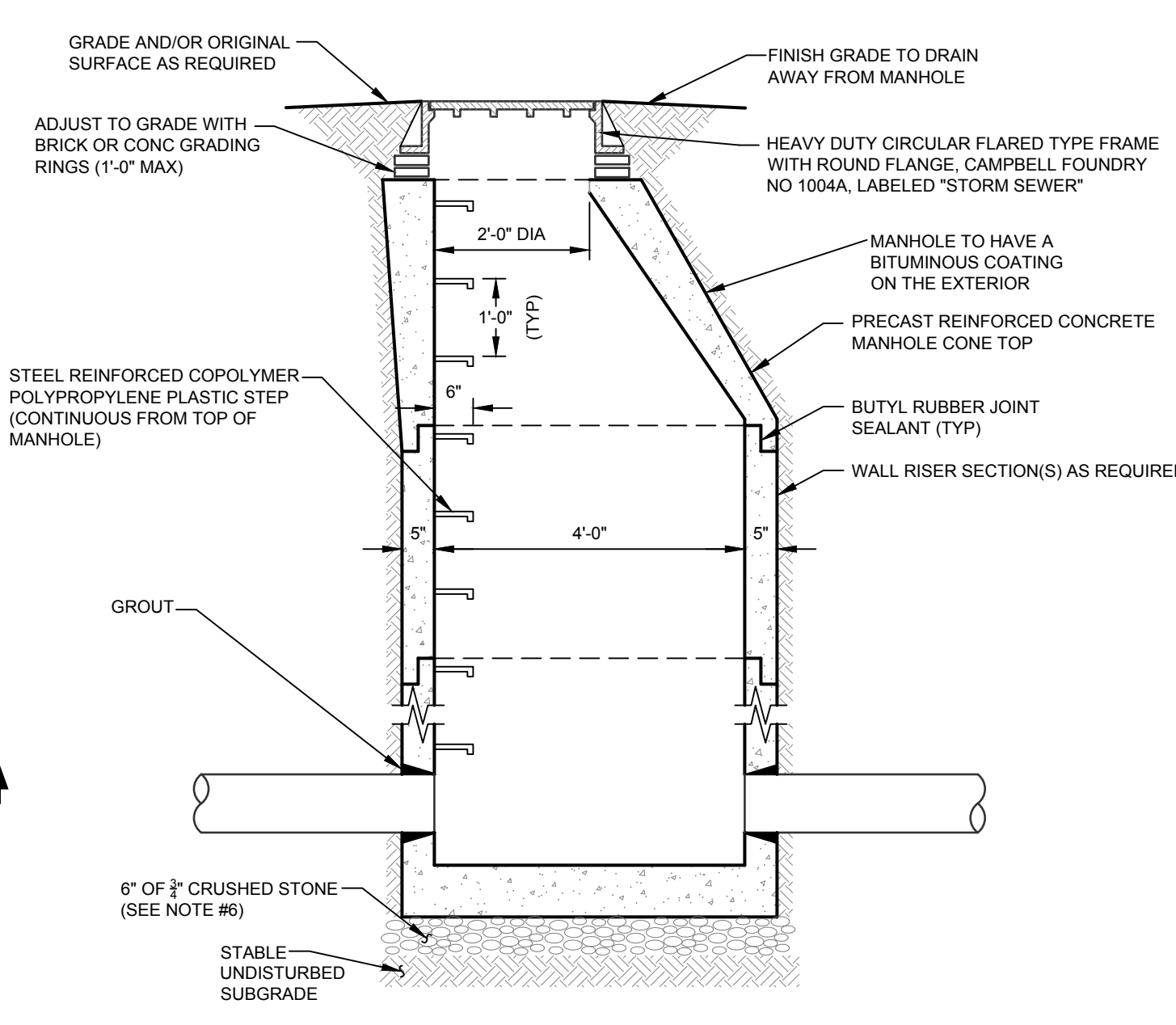
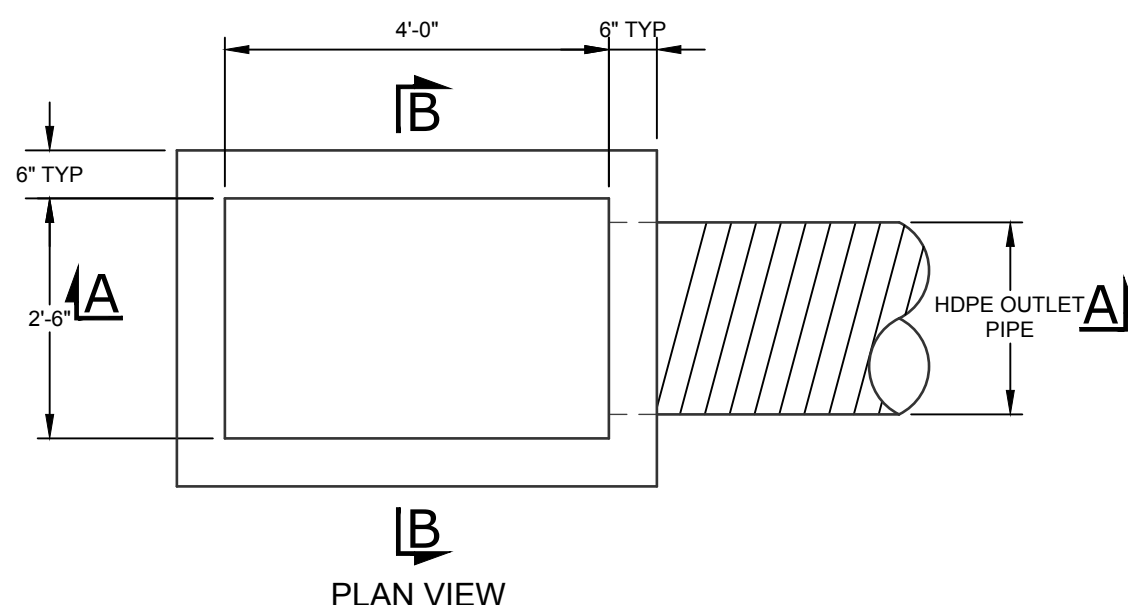
JOB #: 1281.01
DATE: 12/09/2021
REVISION: 9 - 06/16/2023

DRAWN BY: ZS
SCALE: AS NOTED
TAX LOT: 211-1-29-22

C-301

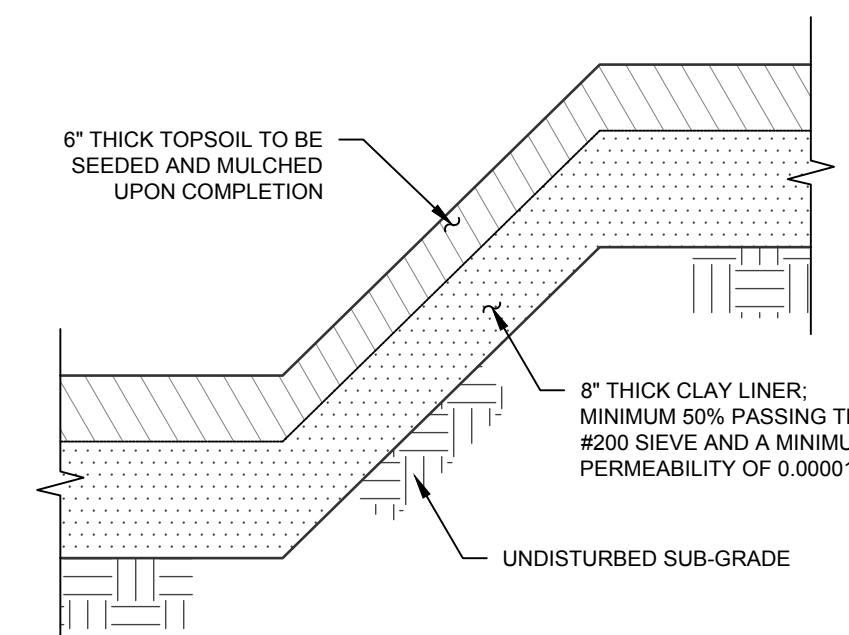


- NOTES:
1. BAR GRATE TRASH RACKS SHALL BE ALUMINUM, STAINLESS STEEL OR GALVANIZED STEEL, AND SHALL BE BOLTED USING STAINLESS STEEL HARDWARE.
 2. TRASH RACKS SHALL BE DESIGNED SUCH THAT THE DIAGONAL DIMENSION OF EACH OPENING IS SMALLER THAN THE DIAMETER OF THE OUTLET PIPE.



- NOTES:
1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
 2. REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60.
 3. CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
 4. ANY MANHOLE WITHIN PAVEMENT AREA SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADINGS.
 5. PRECAST CONCRETE MANHOLE COMPONENTS BY WOODARDS CONCRETE PRODUCTS OR APPROVED EQUAL.
 6. FOR ANY STRUCTURE LOCATED WITHIN THE TOWN RIGHT-OF-WAY, CRUSHED STONE SUB-BASE SHALL BE A MINIMUM OF 12" IN THICKNESS.

DRAINAGE MANHOLE
SCALE: N.T.S.



- NOTES:
1. THE STORMWATER FOREBAYS SHALL INCLUDE A 6" MINIMUM CLAY LINER OR AN IMPERMEABLE LINER THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.
- CLAY LINER:**
- PERMEABILITY: 1 x 10⁻⁸ CM/S (ASTM D 5084)
 - PLASTICITY INDEX OF SOILS: ≥ 15% (ASTM D 4316)
 - LIQUID LIMIT OF SOILS: ≥ 30% (ASTM D 4316)
 - PASSING OF 200 SIEVE: ≥ 50% (ASTM D 422)
 - MAXIMUM PARTICLE SIZE: 2"
 - COMPACTION: ≥ 95% OF MAXIMUM DRY DENSITY (ASTM D 1557) OR 3.0% OF OPTIMUM MOISTURE CONTENT (ASTM D 1557)
- ALTERNATIVE IMPERMEABLE LINER**
- MINIMUM THICKNESS: 30 MILL (ASTM D 751)
 - TENSILE STRENGTH: 1,100 LBS (ASTM D 412)
 - ELONGATION: 200% (ASTM D 412)
 - TEAR RESISTANCE: 160 LBS/IN (ASTM D 624)
 - PERMEABILITY: 1 x 10⁻³ CM/S (ASTM D 814)

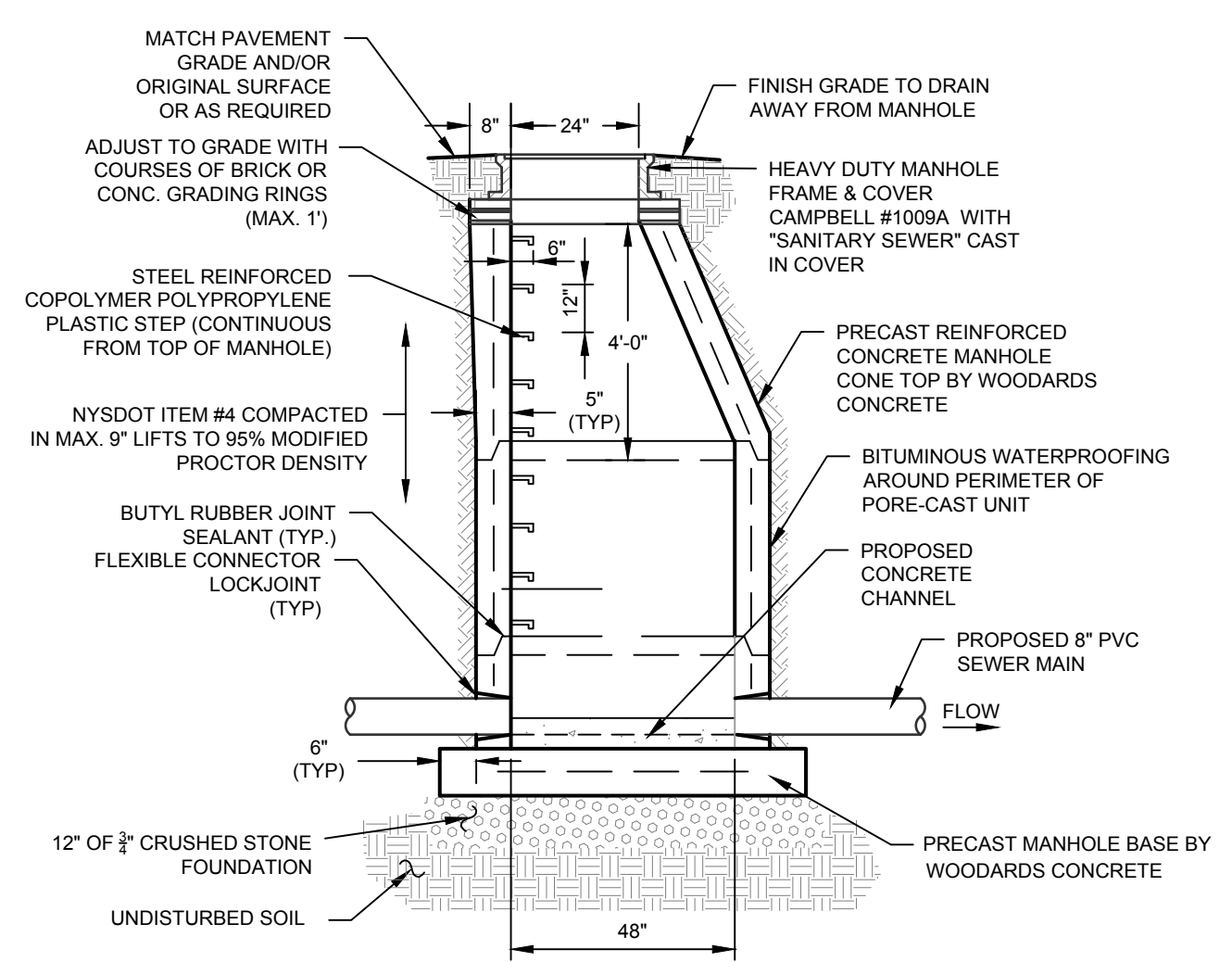
CLAY FOREBAY POND LINER
SCALE: N.T.S.

INFILTRATION TEST RESULTS

TEST HOLE #	TEST HOLE DEPTH	TEST HOLE DIA.	TIME	INFILTRATION TEST RUNS (WATER DROP IN INCHES OVER ONE HOUR)				AVERAGE DROP
				START	9:38 AM	10:46 AM	11:54 AM	
02/16/22 IT-01	6'	8"	START	8:47 AM	9:38 AM	10:46 AM	11:54 AM	> 24"
			FINISH	9:38 AM	10:36 AM	11:40 AM	12:19 PM	
02/16/22 IT-02	2'	8"	START	9:11 AM	10:11 AM	11:11 AM	12:11 PM	15.50"
			FINISH	10:11 AM	11:11 AM	12:11 PM	1:11 PM	
02/16/22 IT-03	10'	8"	START	9:40 AM	10:40 AM	11:40 AM	12:40 AM	> 24"
			FINISH	10:40 AM	11:40 AM	12:40 PM	1:40 PM	
02/16/22 IT-04	10'	8"	START	10:15 AM	10:45 AM	11:42 AM	12:08 PM	> 24"
			FINISH	10:45 AM	11:42 AM	12:08 PM	12:14 PM	
02/16/22 IT-05	2'	8"	START	12:10 PM	1:10 PM	2:10 PM	3:10 PM	10.50"
			FINISH	1:10 PM	2:10 PM	3:10 PM	4:10 PM	
02/16/22 IT-06	8'	8"	START	12:05 PM	1:05 PM	1:50 PM	2:15 PM	> 24"
			FINISH	1:05 PM	1:50 PM	2:15 PM	2:23 PM	
02/16/22 IT-07	16'	8"	START	1:56 PM	2:11 PM	2:48 PM	3:20 PM	> 24"
			FINISH	2:11 PM	2:48 PM	3:20 PM	3:38 PM	
02/16/22 IT-08	16'	8"	START	2:39 PM	2:51 PM	3:22 PM	3:36 PM	> 24"
			FINISH	2:51 PM	3:32 PM	3:36 PM	3:41 PM	

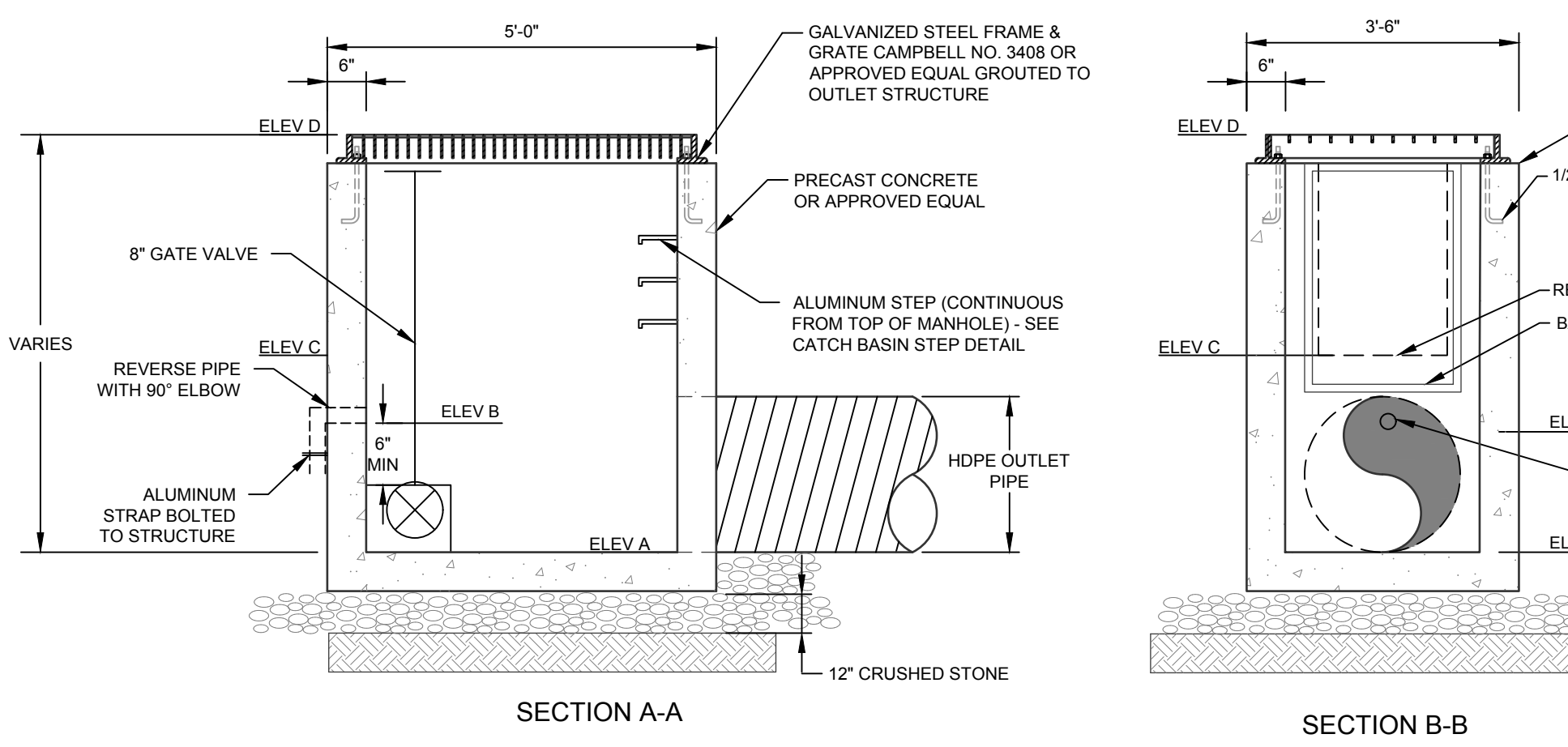
DEEP TEST HOLE RESULTS

TEST HOLE #	DATE	DEPTH	DESCRIPTION
INF 01	02/16/2022	0' - 0"	TOPSOIL
		0' - 5"	TAN SANDY LOAM
		5' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 02	02/16/2022	0' - 6"	TOPSOIL
		6' - 4"	TAN SILTY CLAY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
		6' - 12"	GRAVEL
INF 03	02/16/2022	0' - 6"	TOPSOIL
		6' - 3"	TAN SILTY LOAM
		3' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 04	02/16/2022	0' - 6"	TOPSOIL
		6' - 3"	TAN SILTY LOAM
		3' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 05	02/16/2022	0' - 6"	TOPSOIL
		6' - 6"	TAN SILTY CLAY LOAM WATER AT 4' - NO MOTTLING, NO ROCK
		6' - 6"	GRAVEL
INF 06	02/16/2022	0' - 6"	TOPSOIL
		6' - 4"	TAN SILTY CLAY LOAM
		4' - 11"	TAN SILTY LOAM WITH GRAVEL WATER AT 11' - NO MOTTLING, NO ROCK
INF 07	02/16/2022	0' - 4"	TOPSOIL
		4' - 3"	TAN SILTY CLAY LOAM
		3' - 8"	BROWN SILTY LOAM BROWN SANDY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 08	02/16/2022	0' - 6"	TOPSOIL
		6' - 3"	TAN SILTY CLAY LOAM
		3' - 8"	BROWN LOAM BROWN SANDY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK



- NOTES:
1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
 2. REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60.
 3. ALL MANHOLE SECTIONS TO CONFORM WITH ASTM SPECIFICATION C-478.
 4. ALL MANHOLES WITHIN PAVEMENT AREAS SHALL BE DESIGNED TO WITHSTAND HS-20 LOADING.

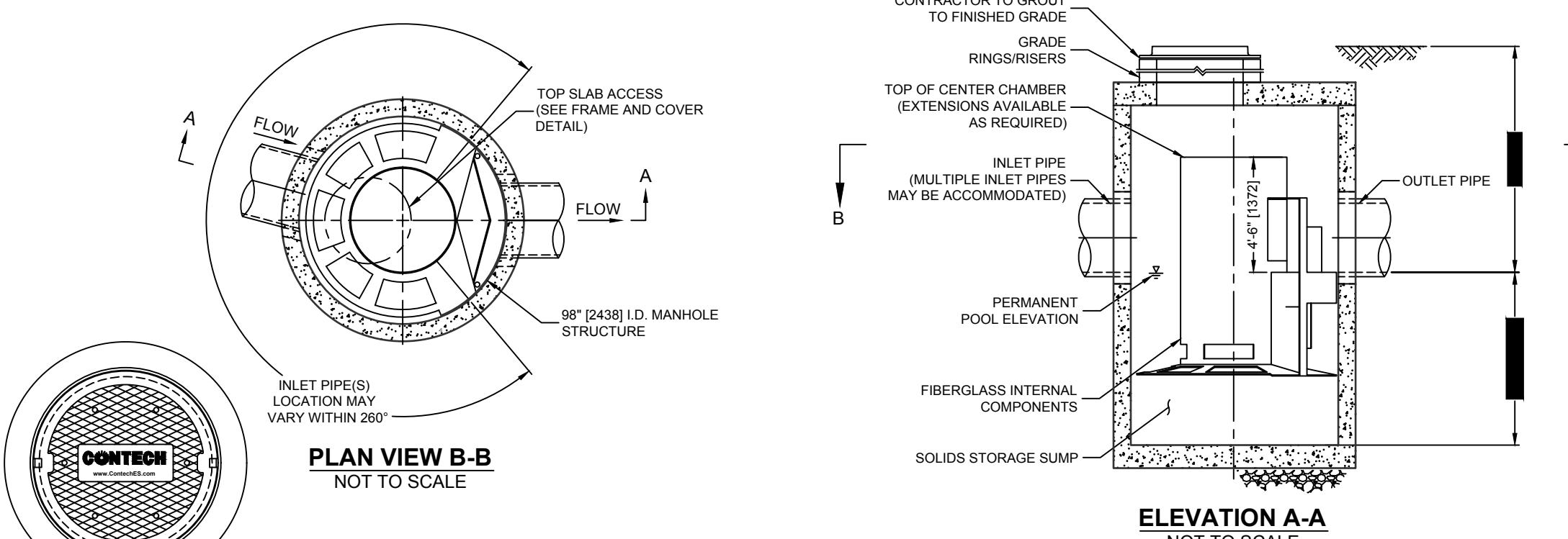
SEWER MANHOLE
SCALE: N.T.S.



POND	CULVERT / ORIFICES		WEIR ELEV. C (132/27)	GRATE ELEV. D	SPILLWAY ELEVATION	SPILLWAY LENGTH
	ELEV. A (B)	ELEV. B (D)				
INFILTRATION BASIN (OS A1)	378.00 (18")	N/A	N/A	383.00	N/A	N/A
INFILTRATION BASIN (OS A2)	378.00 (18")	N/A	N/A	383.00	N/A	N/A
INFILTRATION BASIN (OS A3)	378.00 (18")	N/A	N/A	383.00	N/A	N/A
INFILTRATION BASIN (OS A4)	377.00 (18")	N/A	N/A	379.00	N/A	N/A

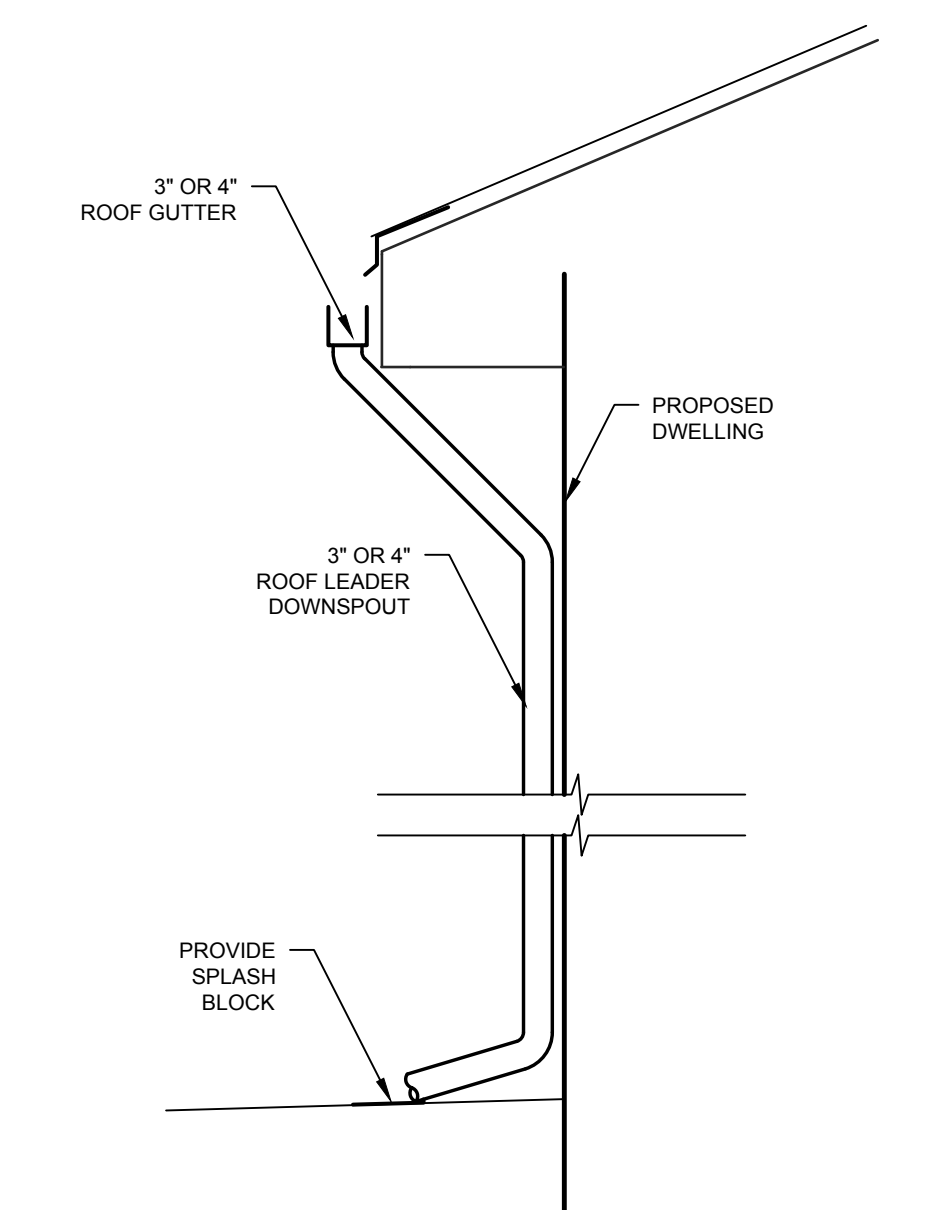
OUTLET/DIVERSION STRUCTURE(S)
SCALE: N.T.S.

- NOTES:
1. FOR LENGTH AND SLOPE OF OUTLET PIPE SEE PLAN.



- GENERAL NOTES:
1. CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. FOR SITE SPECIFIC DRAINAGES WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE, www.contech-es.com
 3. CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 4. CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20-108 LOAD RATING, ASSUMING EARTH COVER OF 0 - 2' B10, AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 5. CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM G478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 6. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm)
- INSTALLATION NOTES:
- A. ANY SUB-BASE, EXCAVATION DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
 - C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH CASCADE CS-8 HYDRODYNAMIC SEPARATOR
SCALE: N.T.S.



- NOTES:
1. IN ACCORDANCE WITH NYSDEC STORMWATER GREEN INFRASTRUCTURE REQUIREMENTS, ALL REAR ROOF LEADER DOWNSPOUTS SHALL DISCHARGE EFFLUENT ALONG THE SURFACE FOR INFILTRATION.
 2. CONNECTION OF ROOF LEADERS TO CLOSED SYSTEMS IS PROHIBITED.
 3. HOMEOWNERS ASSOCIATION SHALL MAINTAIN SPLASH BLOCK LAWN AREA AS SHOWN ON THE PLANS TO PROVIDE INFILTRATION OF STORMWATER ROOF RUNOFF.

ROOF LEADER AND SPLASH BLOCK
SCALE: N.T.S.

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7	04/14/23	REVISED PER PB & PUBLIC COMMENTS
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9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
		SHEET NUMBER
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	14 OF 16
<input type="checkbox"/>	OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
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<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

ORIGINAL SCALE IN INCHES

ENGINEERING PROPERTIES
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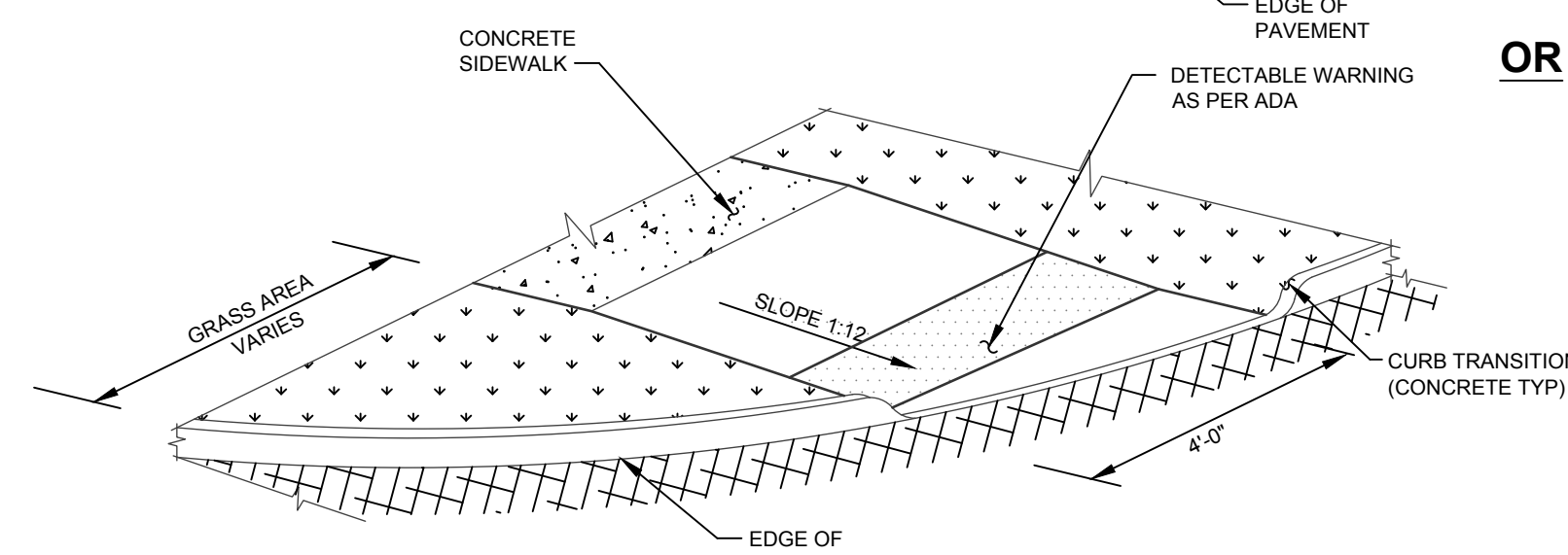
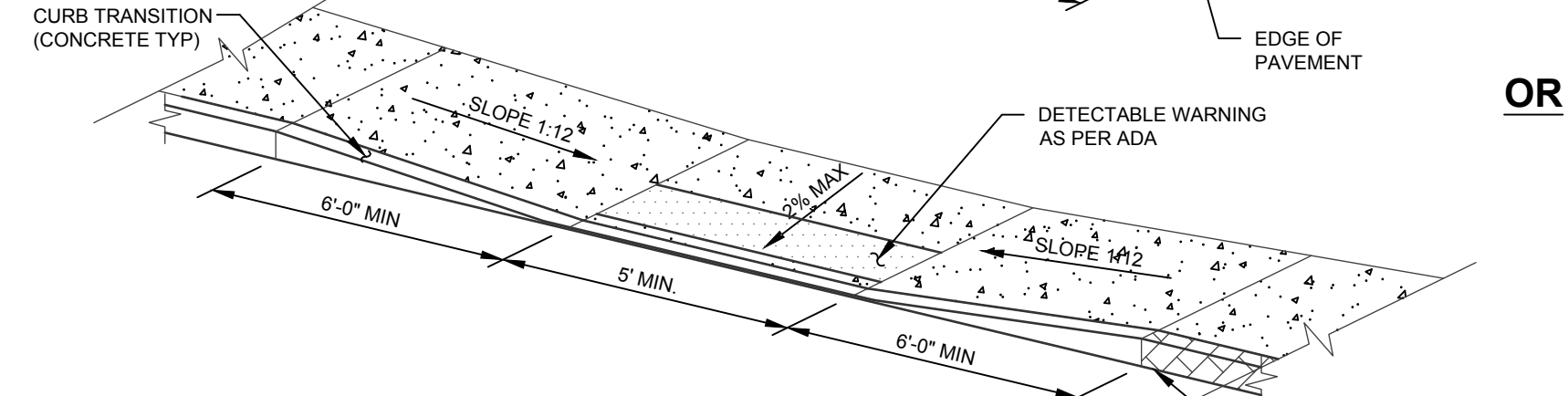
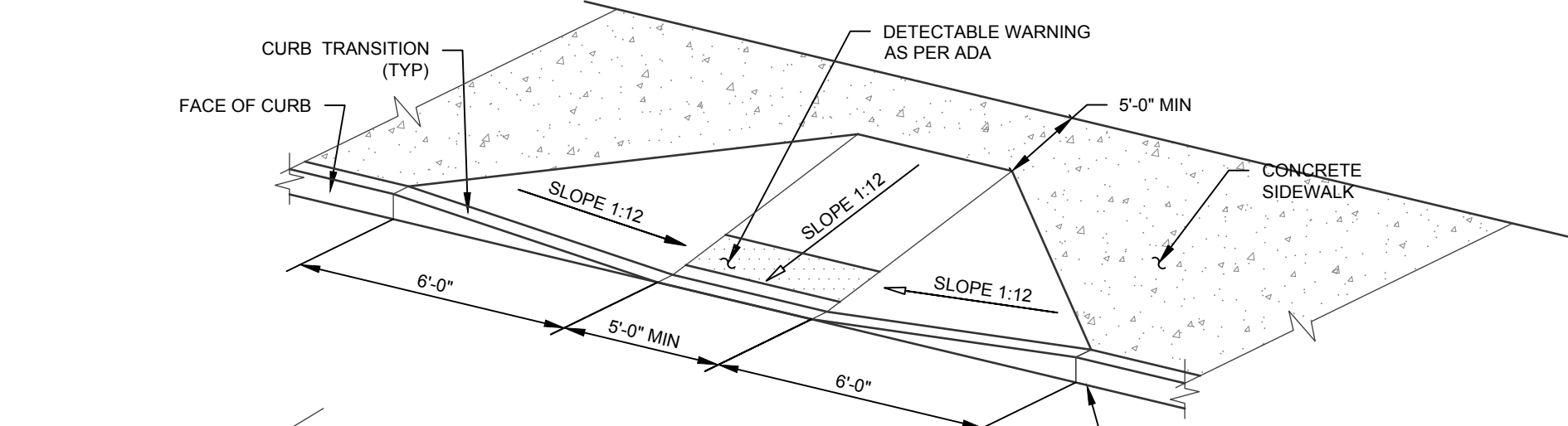
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
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DETAILS

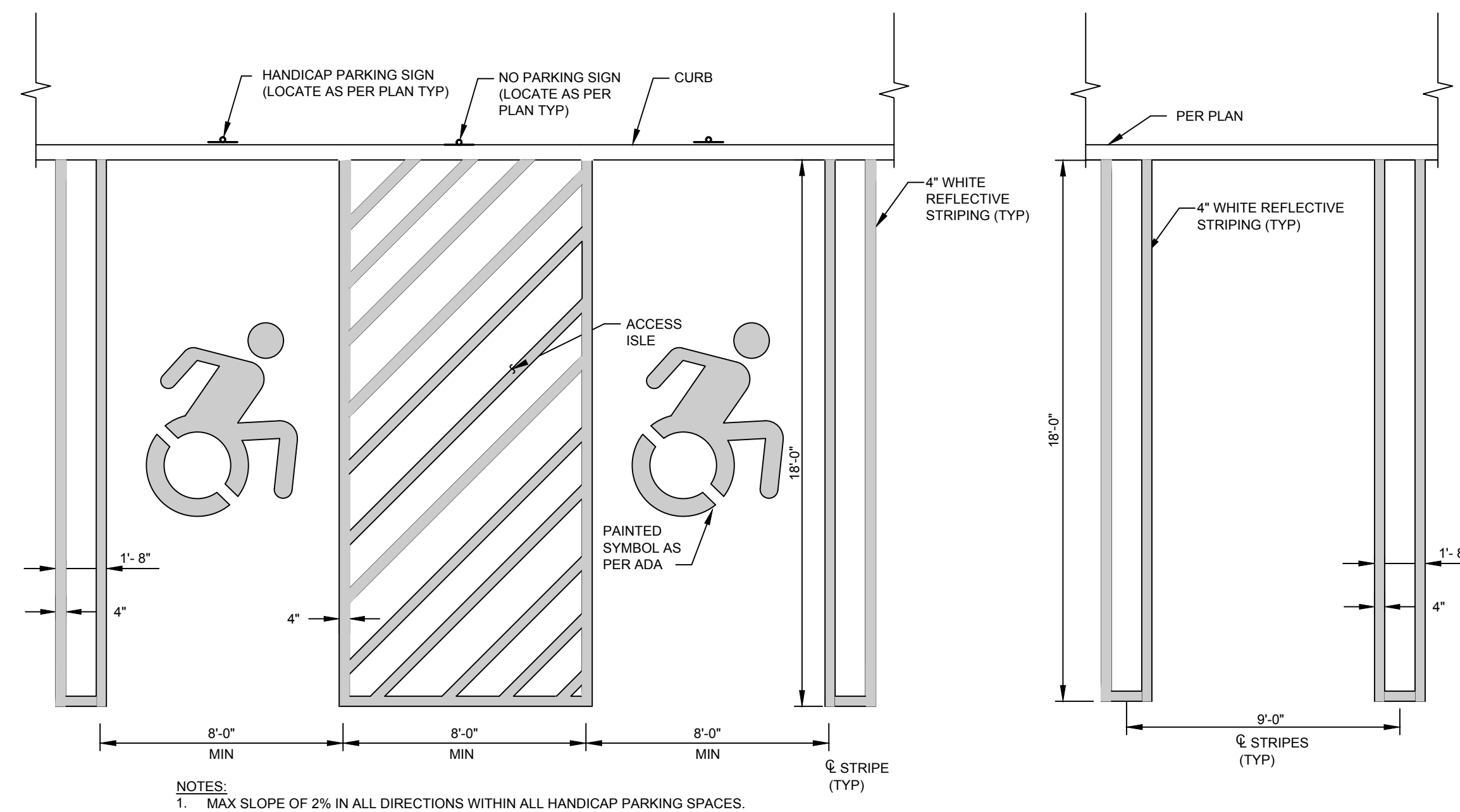
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01
DRAWN BY: ZS
DATE: 12/09/2021
SCALE: AS NOTED
REVISION: 9 - 06/16/2023
TAX LOT: 211-1-29-22

C-302

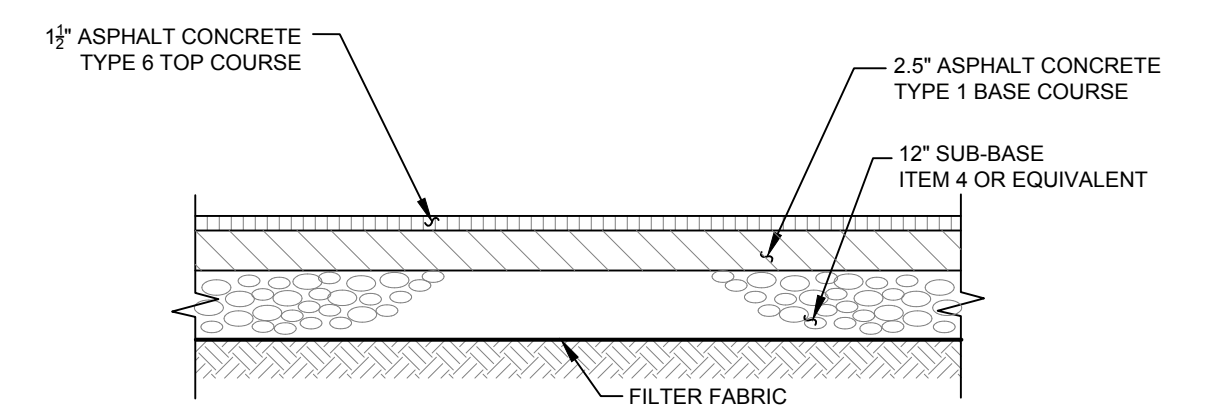


HANDICAMP RAMP
SCALE: N.T.S.

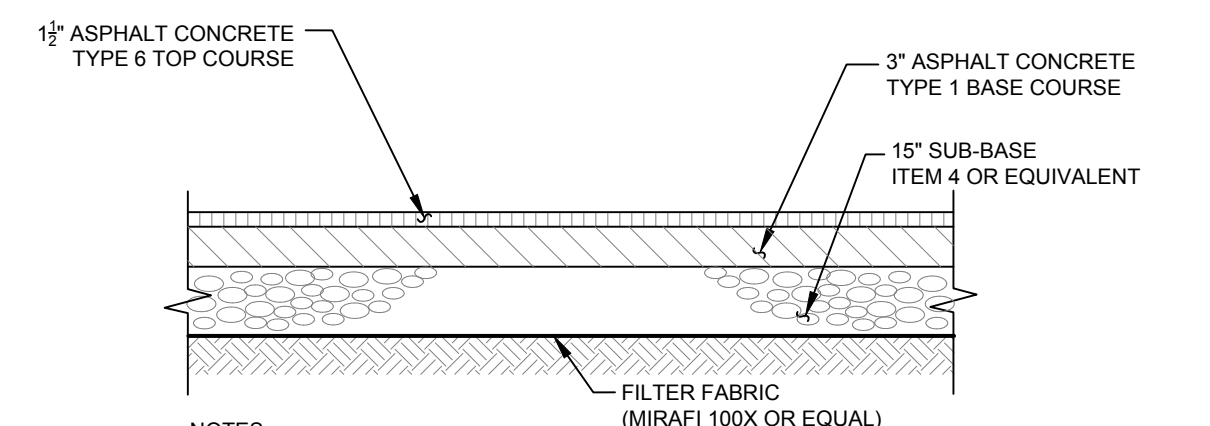


HANDICAP PARKING SPACES
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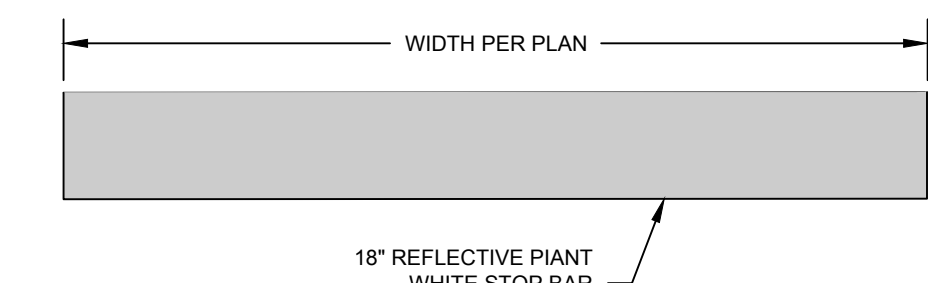
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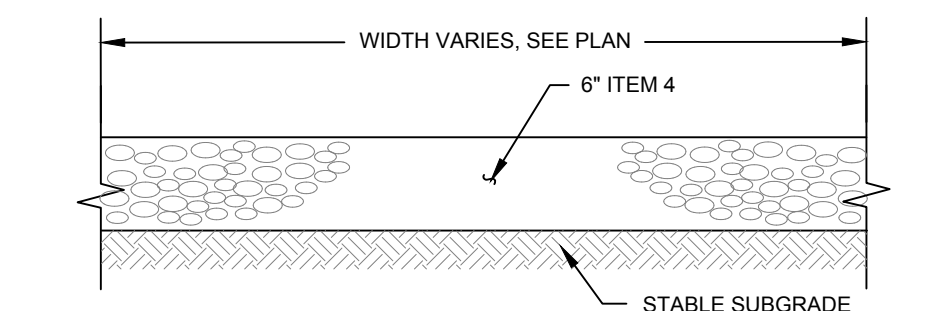
PARKING PAVEMENT SECTION
SCALE: N.T.S.



ROADWAY PAVEMENT SECTION
SCALE: N.T.S.



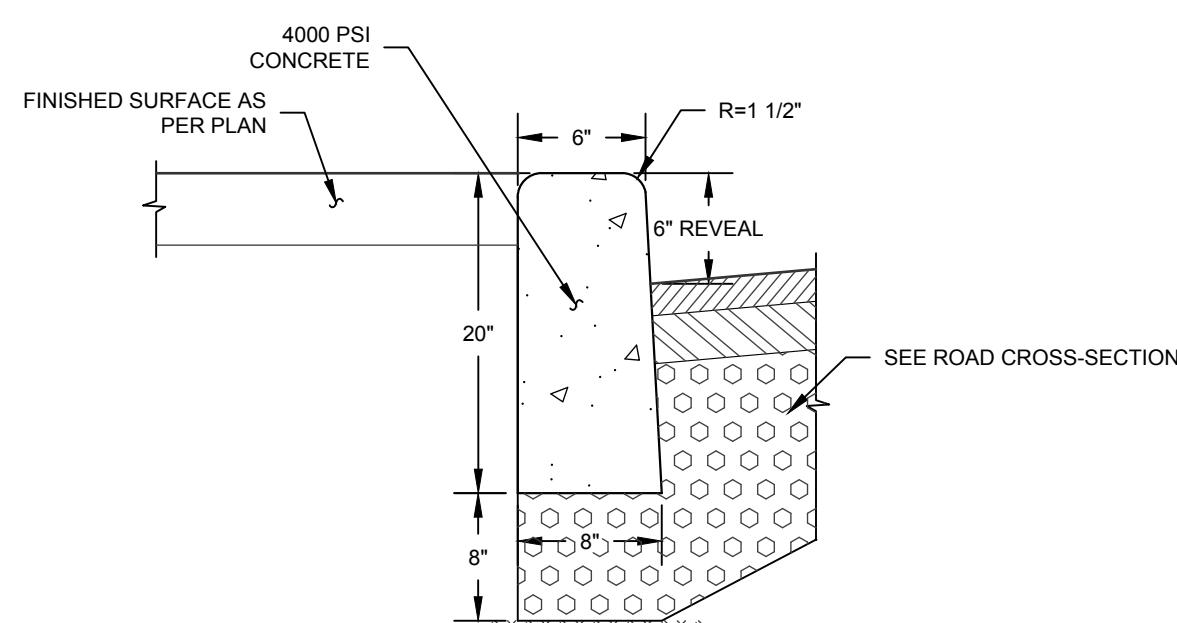
STOP BAR
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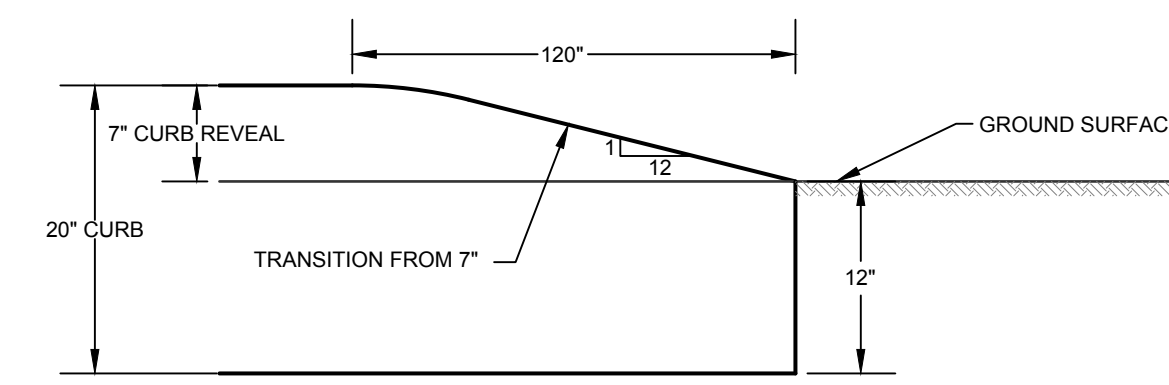
GRAVEL POND ACCESS SECTION
SCALE: N.T.S.

SIGN	TEXT	M.U.T.C.D. No.	SIZE OF SIGN	TYPE OF MOUNT	DESCRIPTION
NP	NO PARKING ANY TIME	P1-1C	12" x 18"	GR MTD	WHITE BACKGROUND RED LETTERING
STOP	STOP	R1-1C	36" x 36"	GR MTD	RED BACKGROUND WHITE LEGEND
HC	RESERVED PARKING FOR HANDICAPPED	M12-1	18" x 24"	GR MTD	BLUE BACKGROUND BLACK SYMBOL WHITE LETTERING
NTT	NO TRUCK TRAFFIC	R14-3RA9	18" x 24"	GR MTD	WHITE BACKGROUND BLACK LETTERING
NLT	NO LEFT TURN	K2-0783	30" x 30"	GR MTD	WHITE BACKGROUND RED & BLACK SYMBOL BLACK LETTERING
→	ALL TRUCKS	K2-0782-L	18" x 24"	GR MTD	WHITE BACKGROUND BLACK SYMBOL BLACK LETTERING
FL	NO PARKING FIRE LANE	R8-31	18" x 24"	GR MTD	WHITE BACKGROUND RED LETTERING

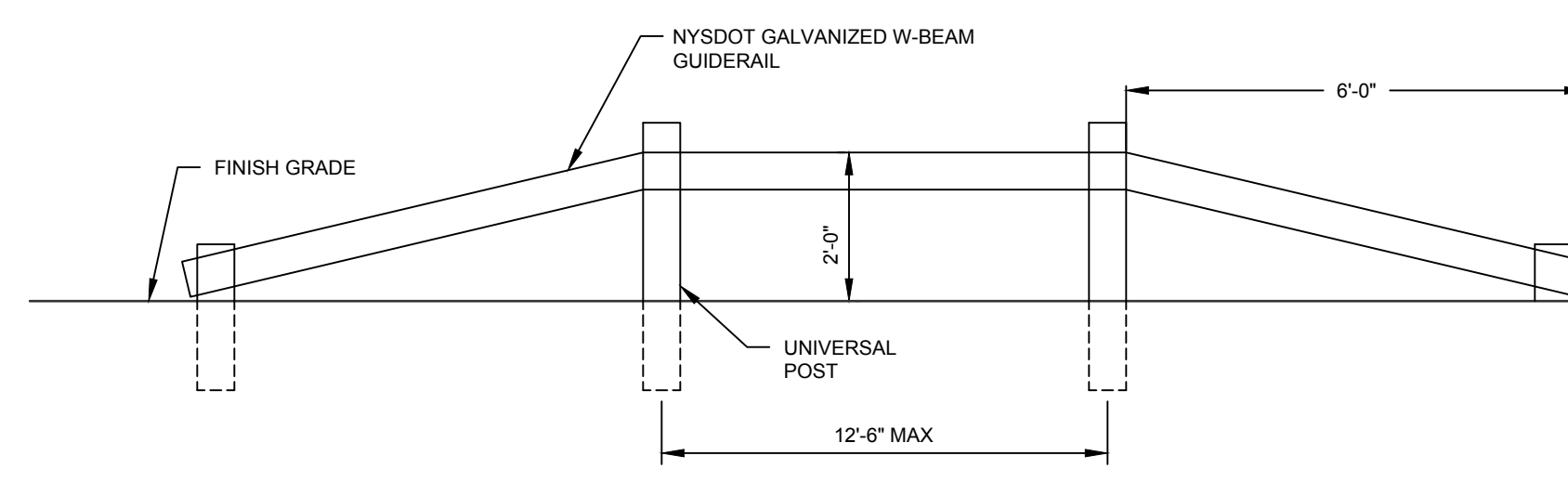
SIGN SCHEDULE
SCALE: N.T.S.



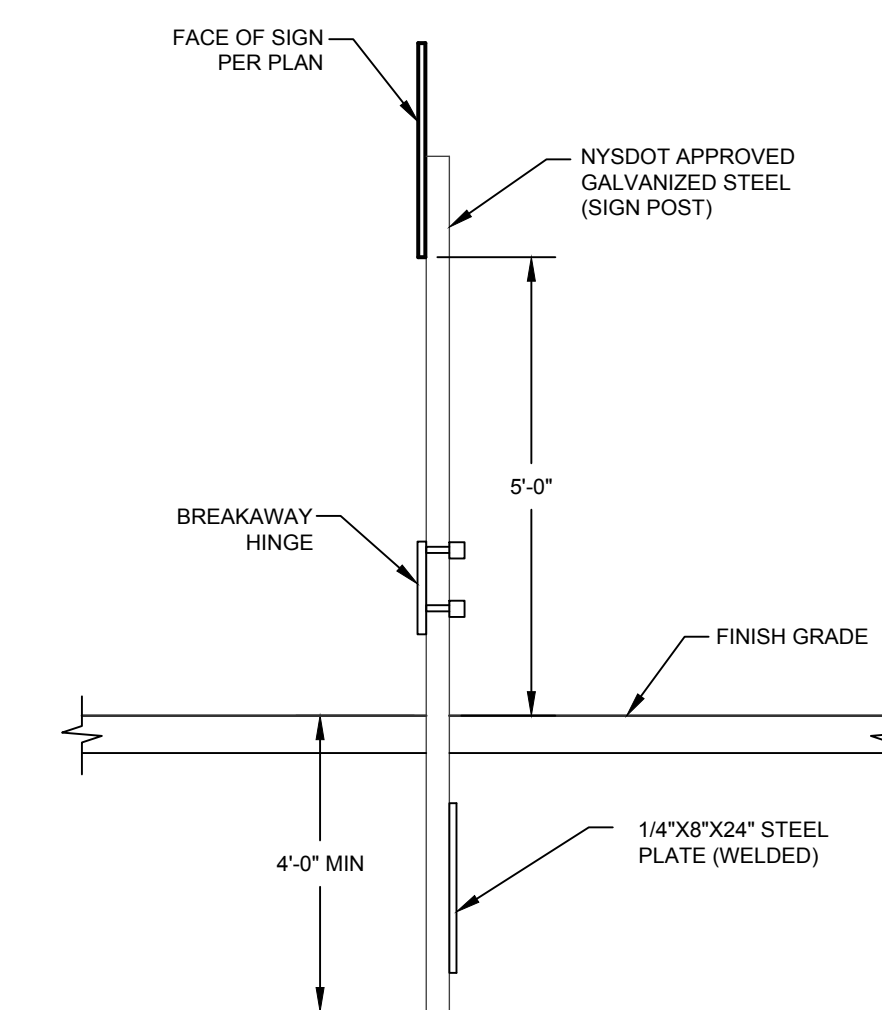
CONCRETE CURB
SCALE: N.T.S.



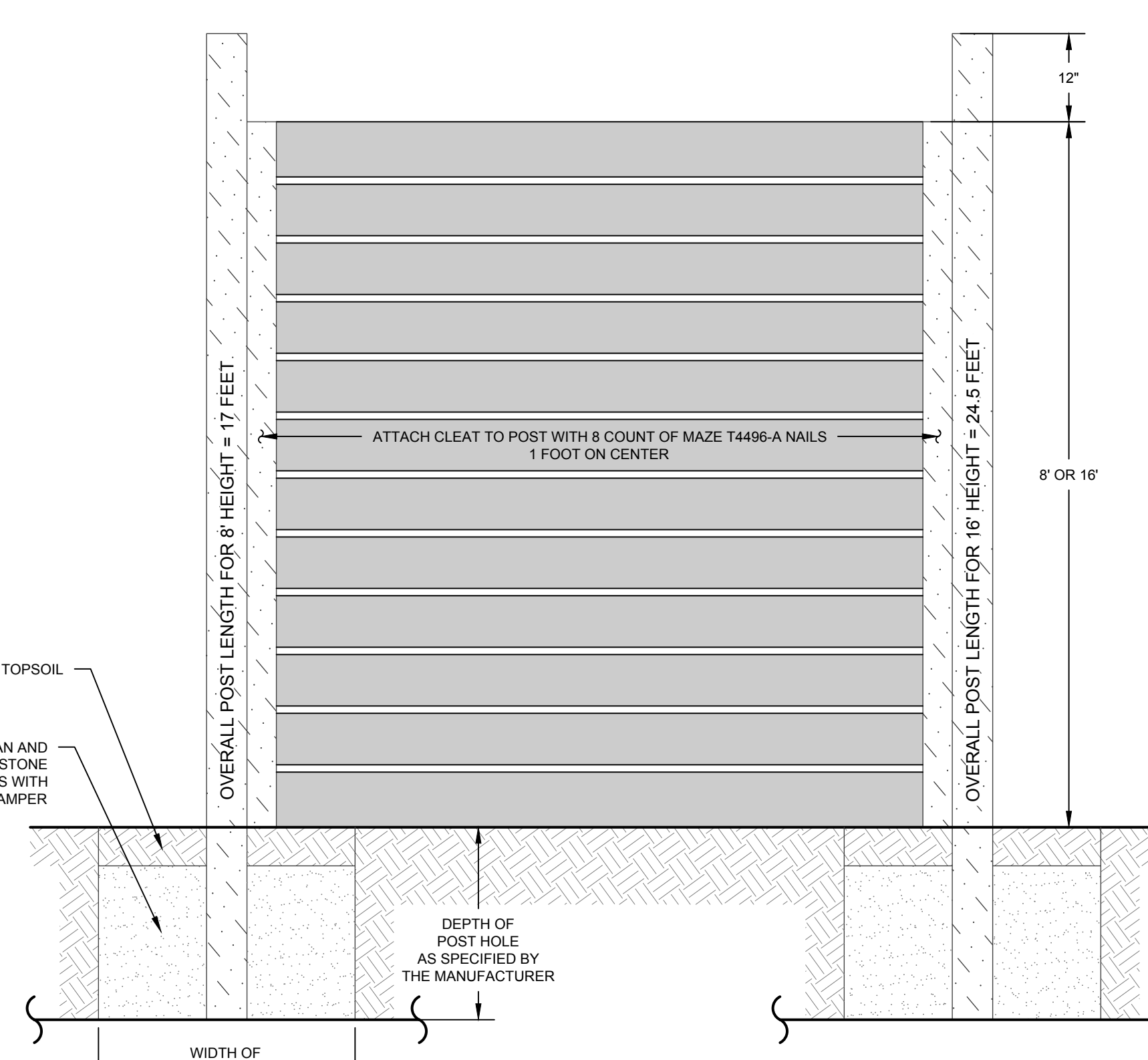
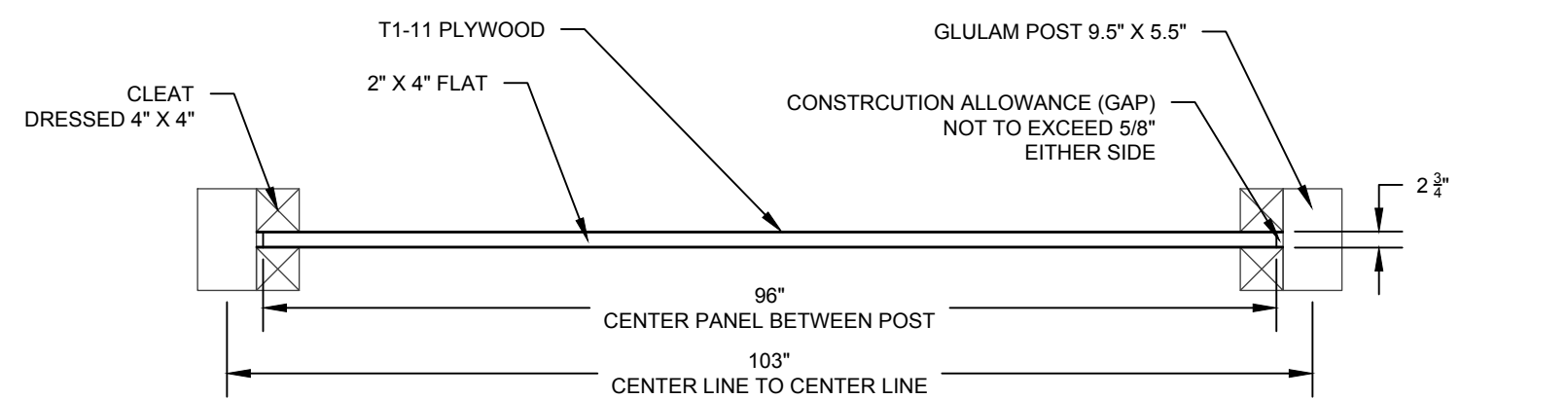
CONCRETE CURB TERMINATION
SCALE: N.T.S.



NYS DOT W-BEAM GUIDE RAIL
SCALE: N.T.S.



SIGN POST
SCALE: N.T.S.



PLYWALL® SOUND BARRIER
SCALE: N.T.S.

- NOTES:
1. ASSUMES A MINIMUM SOIL BEARING OF 1500 PSF.
 2. MINIMUM AUGER SIZE FOR 8" HEIGHT = 18" DIAMETER, FOR 16" HEIGHT = 24" DIAMETER.
 3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SIGNED AND SEALED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.
 4. CONTRACTOR TO ENSURE NO GAPS BETWEEN THE BOTTOM OF THE BARRIER & THE GROUND AND BETWEEN EACH FENCE SECTION.

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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	16 OF 16	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> OTHER	N/A OF N/A	
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<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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C-304